

OWNER:

JOSIAH AND HEATHER PRIER
6752 S. LEYDEN CT.
ENGLEWOOD, CO 80112-1005

ARCHITECT:

SCOTT S. TURNIPSEED, AIA
ARCHITECTURE AND CONSTRUCTION, INC.
PO BOX 3388
1143 CAPITOL STREET, STE 211
EAGLE, CO 81631
970-328-3900
GLENN HARAKAL, ARCHITECT
glenn@sstaia.com

LANDSCAPE ARCHITECT:

DENNIS ANDERSON LANDSCAPE ARCHITECTURE
PO BOX 1387
EDWARDS, CO 81632
970-390-3745
DENNIS ANDERSON
daai@comcast.net

STRUCTURAL ENGINEER:



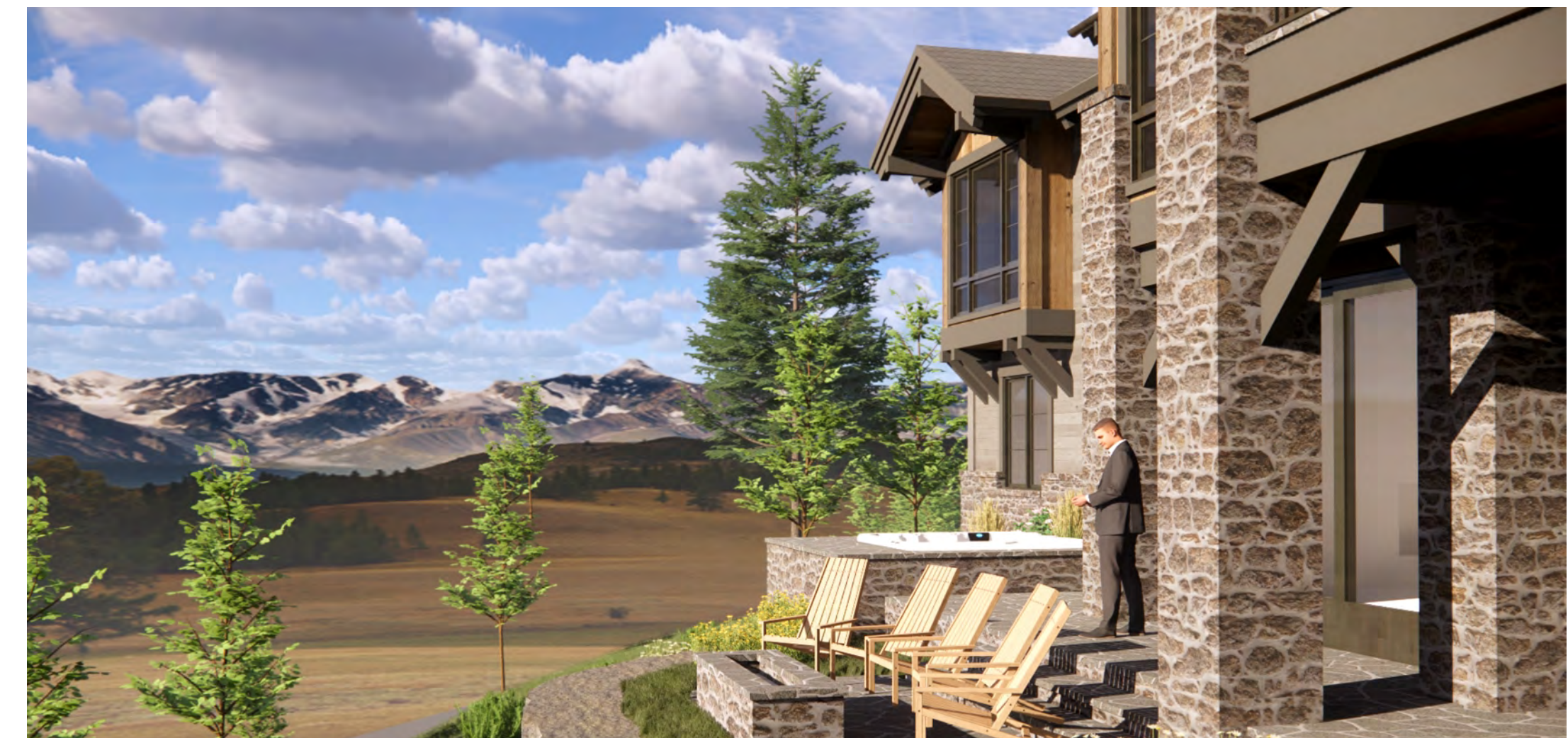
PRIER RESIDENCE

LIST OF DRAWINGS:

CS.1 COVER SHEET	S1.0 GENERAL NOTES
A0.1 SITE PLAN 1" = 20'-0"	S1.1 FOUNDATION / MAIN LEVEL PLAN
A0.2 DETAIL SITE PLAN 1" = 10'-0"	S1.2 ENTRY LEVEL FRAMING PLAN
A0.3 CONSTRUCTION MGT. PLAN	S1.3 ROOF FRAMING PLAN
A0.4 CORDILLERA CONSTRUCTION RULES & REGULATIONS	S5.1 SECTIONS AND DETAILS
A0.5 FIREPLACE SPECIFICATIONS	S5.2 SECTIONS AND DETAILS
A0.6 AREA CALCULATIONS / MATERIAL SPECS.	S5.3 SECTIONS AND DETAILS
A0.7 ROOF HEIGHT CALCULATIONS	S5.4 SECTIONS AND DETAILS
A0.8 WILDFIRE HAZARD / RESCHECK	S5.5 SECTIONS AND DETAILS
A0.9 EROSION CONTROL	S5.6 SECTIONS AND DETAILS
1 OF 1 SITE SURVEY	
L-1 10 SCALE LANDSCAPE PLAN	
L-2 20 SCALE LANDSCAPE PLAN	
A1.0 LOWER LEVEL PLAN	
A1.1 ENTRY LEVEL PLAN	
A1.2 ROOF PLAN	
A2.1 FRONT & RIGHT ELEVATIONS	
A2.2 REAR & LEFT ELEVATIONS	
A2.3 WINDOW & EXT. DOOR SCHEDULE	
A2.4 STONE VENEER LEDGES	
A3.0 SITE SECTIONS	
A3.1 BUILDING SECTIONS	
A3.2 BUILDING SECTIONS	
A3.3 BUILDING SECTIONS	
A3.4 BUILDING SECTIONS	
A3.5 BUILDING SECTIONS	
A3.6 BUILDING SECTIONS	
A4.1 WALL SECTIONS	
A4.2 WALL SECTIONS	
A4.3 WALL SECTIONS	
A5.1 CONSTRUCTION DETAILS	
A5.2 CONSTRUCTION DETAILS	
A5.3 CONSTRUCTION DETAILS	
A6.0 LOWER LEVEL ELECTRICAL	
A6.1 ENTRY LEVEL ELECTRICAL	



PRIER RESIDENCE
1243 RED DRAW - LOT 15, FILING 11 CORDILLERA
EAGLE COUNTY, COLORADO



ISSUE:	DATE:
CLIENT REVIEW	12.21.2022
CLIENT REVIEW	01.11.2023
DRB Preliminary Review	01.31.2023
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DRB TECHNICAL / PERMIT	06.08.2023



PARCEL NO.	2107-113-09-006
SITE	1.210 ACRES (52,708 SF)
FOOTPRINT	3,883 SF
DRIVEWAY	3,389 SF
WALKWAYS	103 SF
TOTAL IMPERVIOUS	7,375 SF (14.0% of site)

RADON MITIGATION:
REQUIRED PER APPENDIX F OF THE IRC,
METHOD AS CHOSEN BY GENERAL CONTRACTOR

FIRE SPRINKLERS:
NFPA 13D (REQUIRED)

HEATING / COOLING:
NATURAL GAS FURNACE
CENTRAL AIR CONDITIONING

BUILDING CODES:
2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
2015 INTERNATIONAL MECHANICAL CODE (IMC)
2015 NATIONAL ELECTRICAL CODE (NEC)
2015 INTERNATIONAL ENERGY CODE (IEC)

PROJECT SUMMARY:

NEW CONSTRUCTION:	SINGLE FAMILY
NUMBER OF STORIES:	2
PARKING (INSIDE):	2
PARKING (OUTSIDE):	2
BEDROOMS:	4
BATHROOMS:	4.5
GAS FIREPLACES	4

FLOOR AREA:

BASEMENT FINISHED	1,782 SF
FIRST FLOOR FINISHED	2,377 SF
TOTAL FINISHED	4,159 SF
GARAGE	943 SF
MECHANICAL / STORAGE	494 SF
GROSS SQUARE FOOTAGE	5,596 SF

LOCATION MAP:



CS.1
COVER SHEET



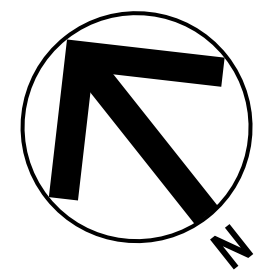
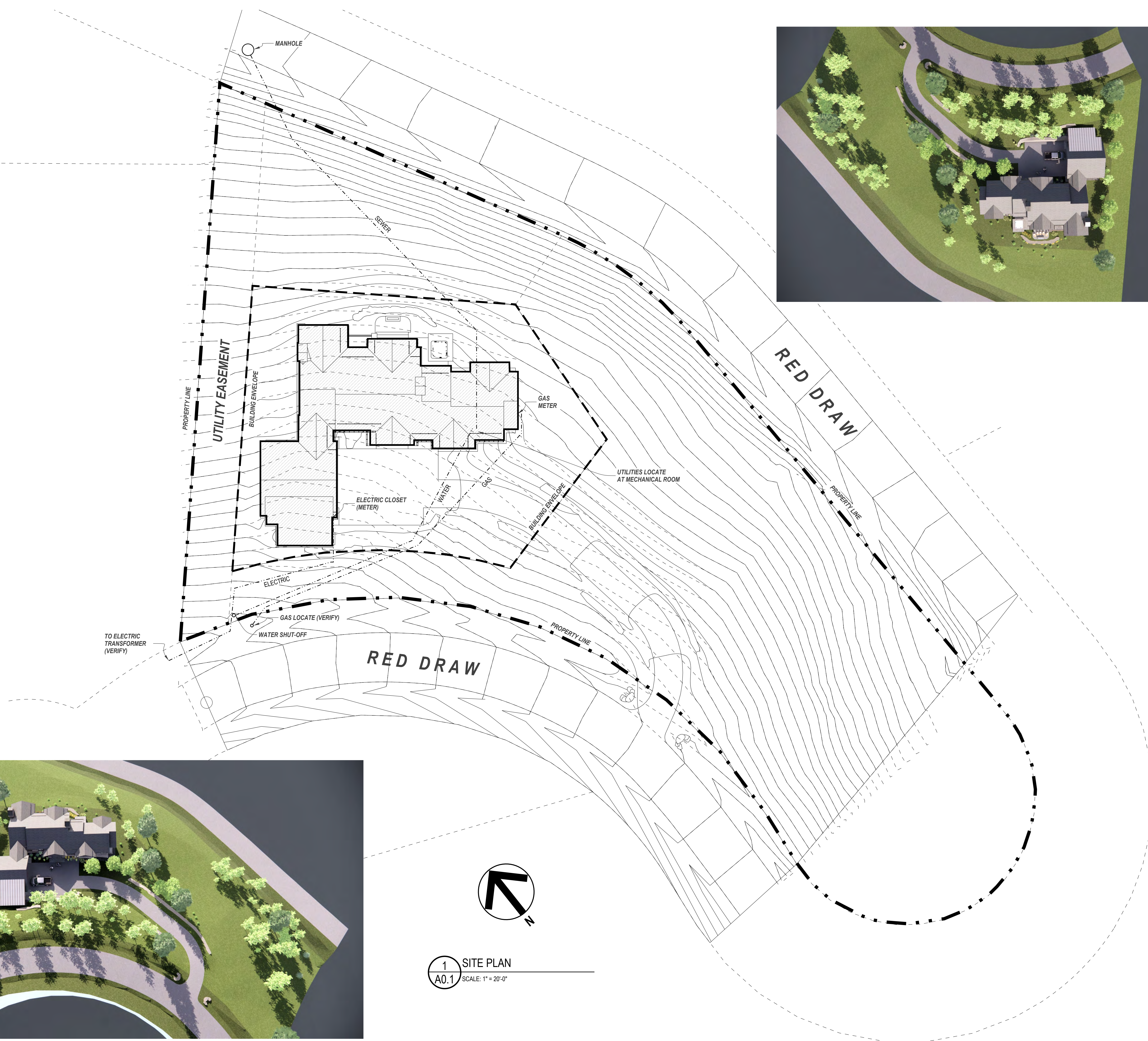
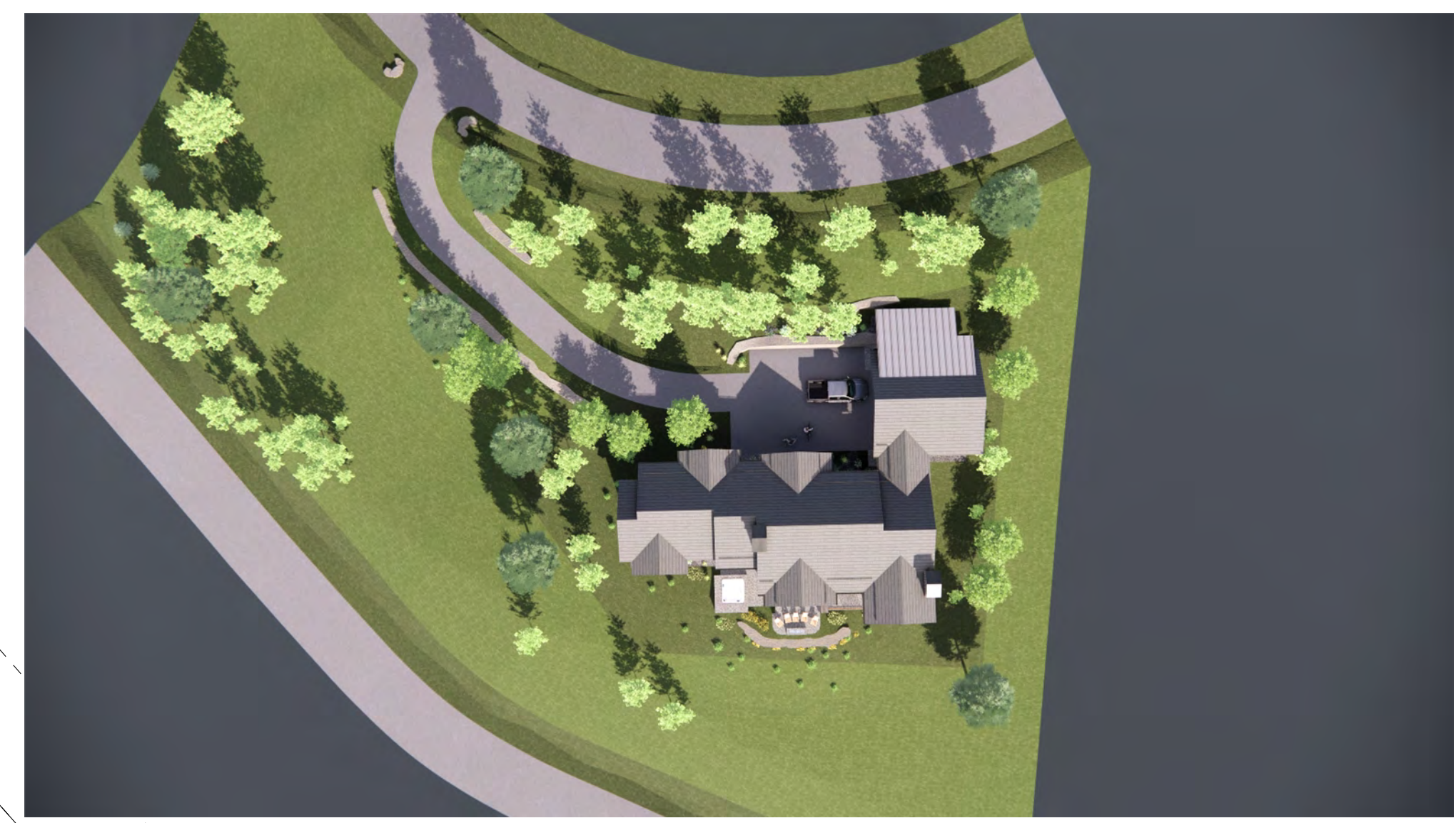
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A0.1
 SITE PLAN



1 SITE PLAN
A0.1 SCALE: 1" = 20'-0"



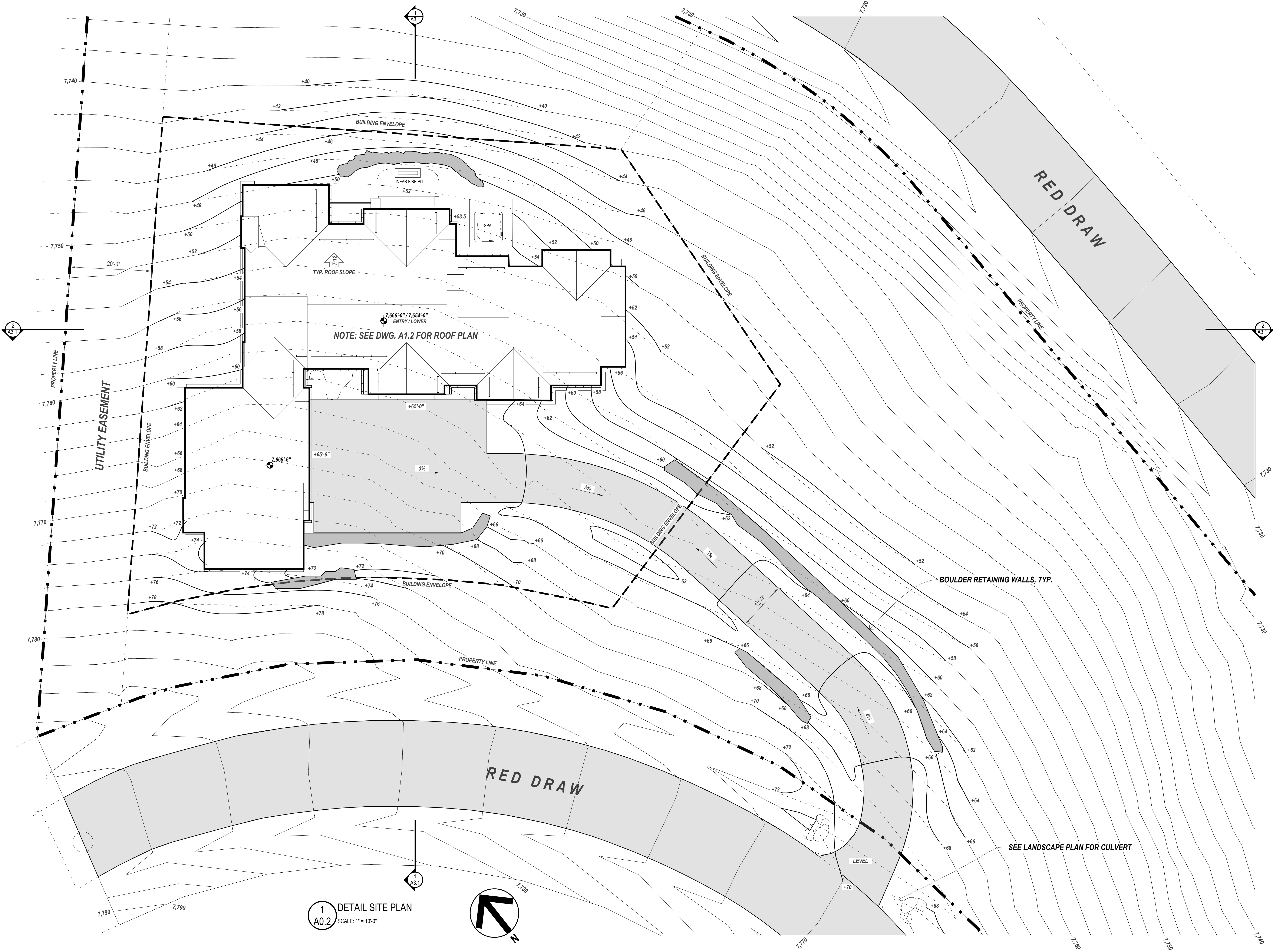
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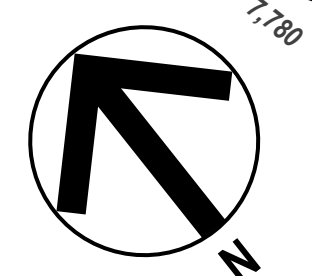
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A0.2
 DETAIL SITE PLAN
 / GRADING PLAN



1 DETAIL SITE PLAN
A0.2 SCALE: 1" = 10'-0"





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INTERIOR DESIGN

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PRIER RESIDENCE
1243 RED DRAW - LOT 15, FILING 11 CORDILLERA
EAGLE COUNTY, COLORADO

CONSTRUCTION SCHEDULE:

DATE	CONSTRUCTION	COMMENTS
04.18.2023	SUBMIT FOR TECHNICAL	
05.02.2023	SUBMIT FOR PERMIT	
06.02.2023	PRE-CONSTRUCTION	
06.15.2023	CONSTRUCTION START	
07.15.2023	FOUNDATION	
08.15.2023	FRAMING	
12.15.2023	PROJECT CLOSED-IN	
05.01.2024	INTERIOR CONSTRUCTION	
05.15.2024	LANDSCAPING	
07.01.2024	PUNCHLIST	
08.01.2024	PROJECT CLOSE-OUT	

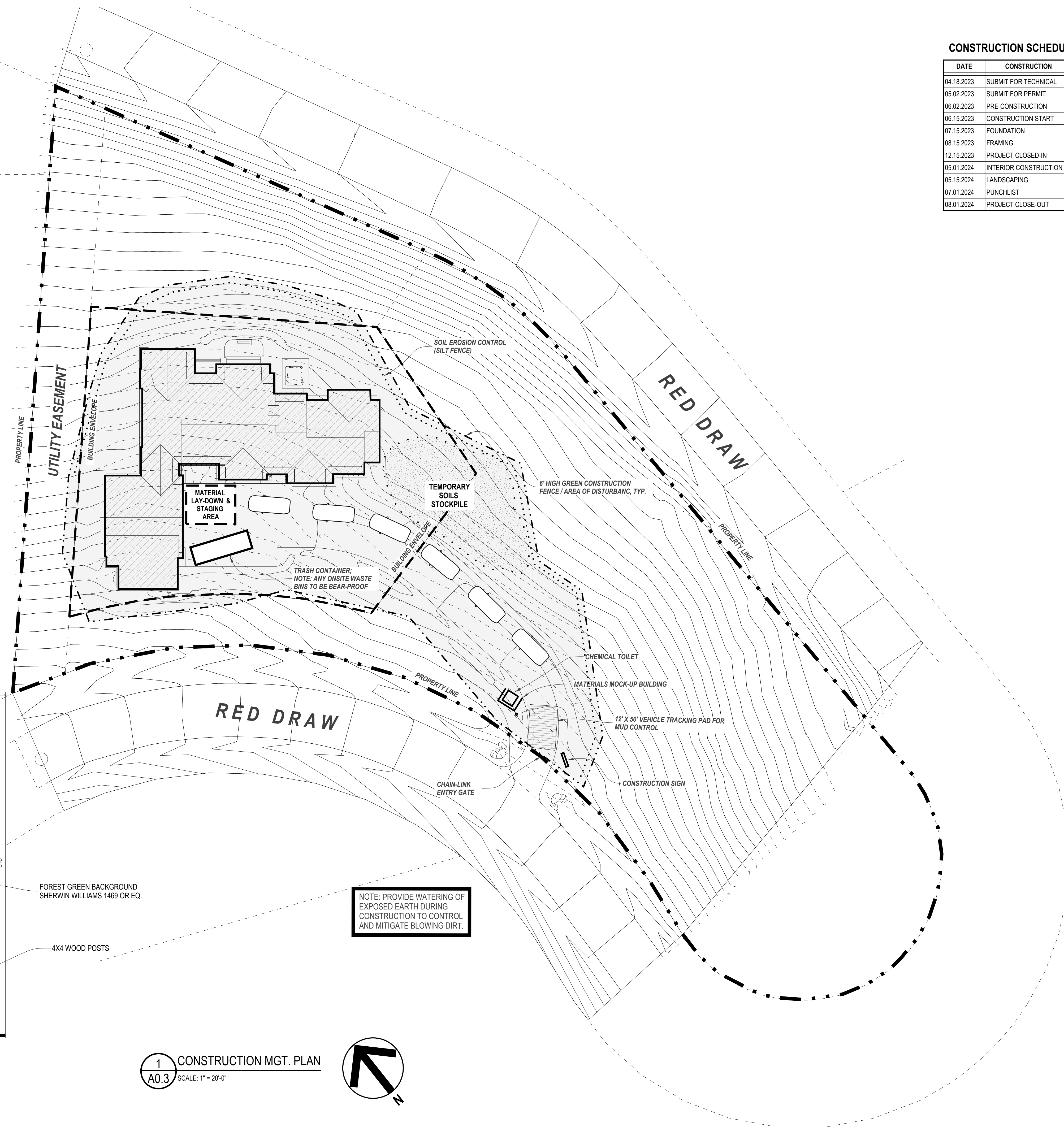
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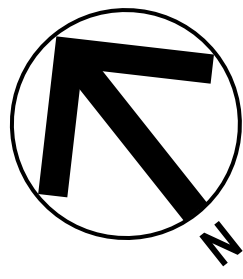
A0.3

CONSTRUCTION
MGT. PLAN

JUNE 8, 2023



NOTE: PROVIDE WATERING OF EXPOSED EARTH DURING CONSTRUCTION TO CONTROL AND MITIGATE BLOWING DIRT.



1 CONSTRUCTION MGT. PLAN
A0.3 SCALE: 1" = 20'-0"

2 CONSTRUCTION SIGN
A0.3 SCALE: 1" = 20'-0"

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1243 RED DRAW
FILING 11, LOT 15
PERMIT NO. #####
SCOTT S. TURNIPSEED, AIA
ARCHITECTURE & CONSTRUCTION, INC.
TEL: 970-328-3900

1/2" THICK MEDEX OR OMEGA BOARD

4'-0"

3'-0"

6'-0"

FOREST GREEN BACKGROUND
SHERWIN WILLIAMS 1469 OR EQ.

4X4 WOOD POSTS

MASON-LITE

Use 14\"/>

OTHER DIMENSIONS

Framing Width	57"
Framing Height	64 1/4"
Framing Depth	30"
Floor Area (37 x 28)	10.31 sf
Fireplace Weight	1,635 lbs
Mortar and Rebar	73 lbs
Ready Mix	200 lbs
Flue Size - Class A	Ø14"
Masonry Chimney Weight per foot	140 lbs
Metal Chimney Weight per foot	12 lbs

ACCESSORIES

Herringbone Brick Liner	MFP49-SHBL	498 lbs
Full Running Bond Brick Liner	MFP49-FRBL	498 lbs
Structural Metal Base Kit - 6"	MFP49-6	69 lbs
Anchor Plate/Damper	14ATGAPD	34 lbs
Ø4" Combustion Air Kit	MFP4-AK	14 lbs
Masonry Arch	MFP-ARC	20 lbs

TITLE: **MFP49**

DWG. NUMBER	RELEASE DATE	REV. DATE
S002	10/23/07	02/17/15

LIVING ROOM

Specifications RUTH-50

HEAT&GLO Please consult the manufacturer's installation manual for all details and requirements before making a final design layout decision.

Rutherford
50" Wood Fireplace

MODEL	FRONT WIDTH	BACK WIDTH	HEIGHT	DEPTH	FIREPLACE OPENING
RUTH-50	Actual 60-7/8 Framing 61-7/8	Actual 45-1/8 Framing 61-7/8	Actual 74-1/8 Framing 74-1/2	Actual 27-1/2 Framing 28-1/2	50 x 38

APPLIANCE LOCATION

FRAMING DIMENSIONS

MANTLE PROJECTIONS

MANTLE LEG/WALL PROJECTIONS

HEARTH EXTENSIONS

CLEARANCES TO COMBUSTIBLES

HEARTH EXTENSION CONSTRUCTION

PRODUCT LISTING CODES

Additional information can be found online at www.heatnglo.com

OUTDOOR LIVING

Specifications MEZZO48

HEAT&GLO Please consult the manufacturer's installation manual for all details and requirements before making a final design layout decision.

MEZZO48
48" Direct Vent Gas Fireplace

MODEL	FRONT WIDTH	BACK WIDTH	HEIGHT	DEPTH	GLASS SIZE
MEZZO48	Actual 58 Framing 60-1/4	Actual 58 Framing 60-1/4	Actual 41-3/4 Framing 42	Actual 17-1/8 Framing 18-1/4	47-1/2 x 12-1/2

Top

Left

Front

Right

BEFORE FRAMING, PLEASE NOTE:
A minimum of 18" of vertical venting is required before attaching any elbow to the appliance.

Additional information can be found online at www.heatnglo.com

Specifications MEZZO48

HEAT&GLO Please consult the manufacturer's installation manual for all details and requirements before making a final design layout decision.

MEZZO48
48" Direct Vent Gas Fireplace

Decorative Fronts Dimensions and Framing

FRONT DIMENSIONS

Clean Face Trim

Loft Forge Front

Quattro Front

Rectangular holes on bottom of access panel should be covered.

Approved for 0"-4" finishing material on inside fit method.

If finishing materials are 0"-1" thick, the outer trim ring should be adjusted out so that the trim ring overlaps the finishing material. This is intended to provide the cleanest look.

If finishing materials are 1-4" thick, install the trim ring all the way in. Finishing materials may not extend past the outside edge of the trim ring.

FINISHED OPENING DIMENSIONS

Inside Fit Method (Clean Face Trim)

Overlap Fit Method (Loft Forge, Quattro)

APPLIANCE LOCATION

FRAMING DIMENSION

WALL PENETRATION

MANTLE PROJECTIONS - COMBUSTIBLE

MANTLE PROJECTIONS - NON-COMBUSTIBLE

MANTLE LEG/WALL PROJECTIONS COMBUSTIBLE OR NON-COMBUSTIBLE

PRODUCT LISTING CODES

Additional information can be found online at www.heatnglo.com

FAMILY ROOM

Specifications LCOR-DV36IN / RCOR-DV36IN

HEAT&GLO Please consult the manufacturer's installation manual for all details and requirements before making a final design layout decision.

LCOR/RCOR-DV36IN
Left and Right Corner Direct Vent Gas Fireplace

MODEL	FRONT WIDTH	BACK WIDTH	HEIGHT	DEPTH	GLASS SIZE
LCOR-DV36IN RCOR-DV36IN	Actual 40-1/2" Framing 40-1/2"	Actual 40-1/2" Framing 40-1/2"	Actual 38-1/8" Framing 38-1/8"	Actual 24-1/2" Framing 24"	33" x 21-5/8" (838 X 549)

TOP VIEW

FRONT VIEW

VIEWABLE END

NON-VIEWABLE END

MINIMUM FIREPLACE CLEARANCES

FIREPLACE LOCATIONS

WALL PENETRATION

MANTLE LEG/WALL PROJECTIONS

PRODUCT LISTING CODES

Additional information can be found online at www.heatnglo.com

MASTER BEDROOM



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A0.5
FIREPLACE AND MATERIAL SPECIFICATIONS

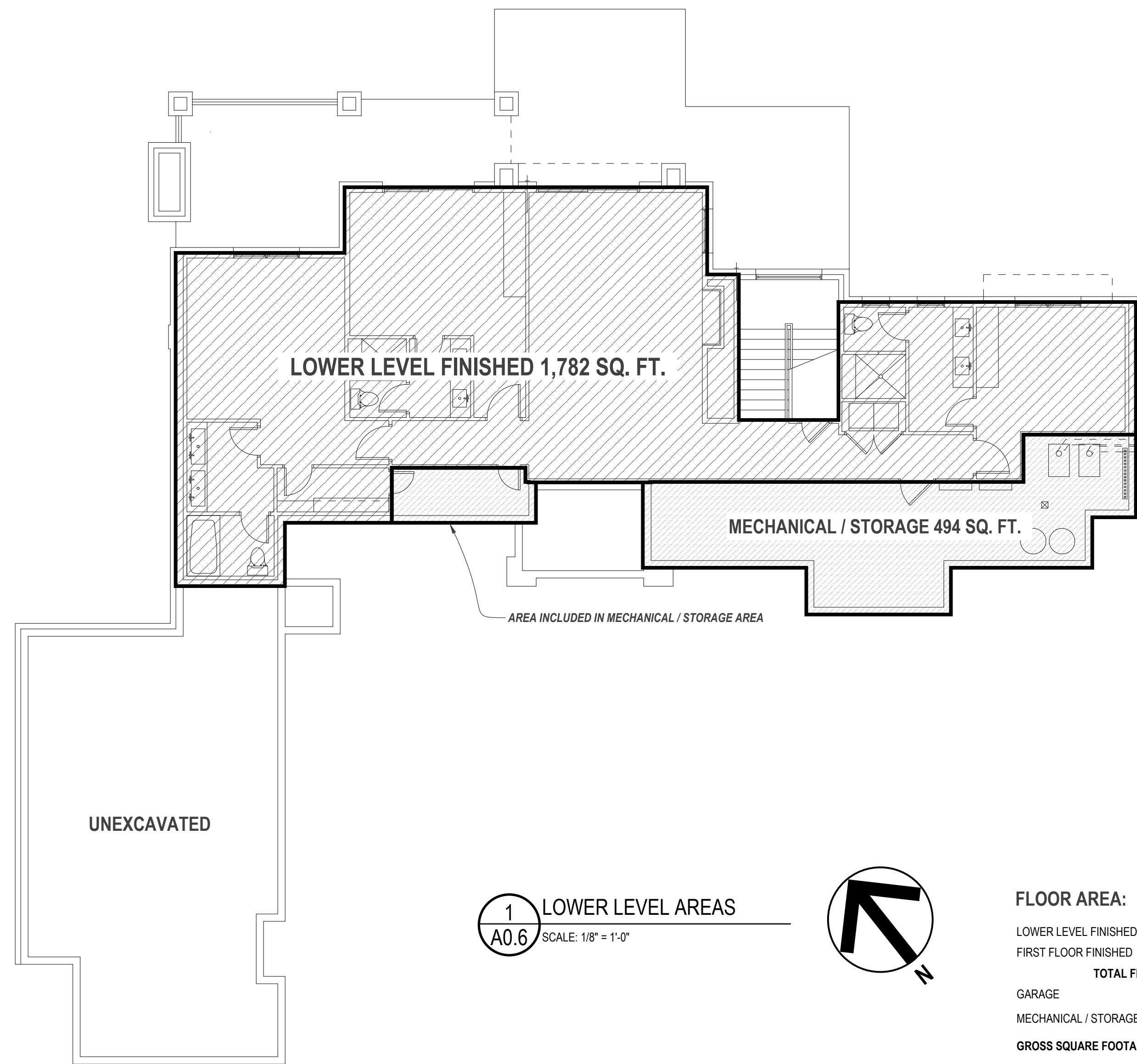


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INTERIOR DESIGN

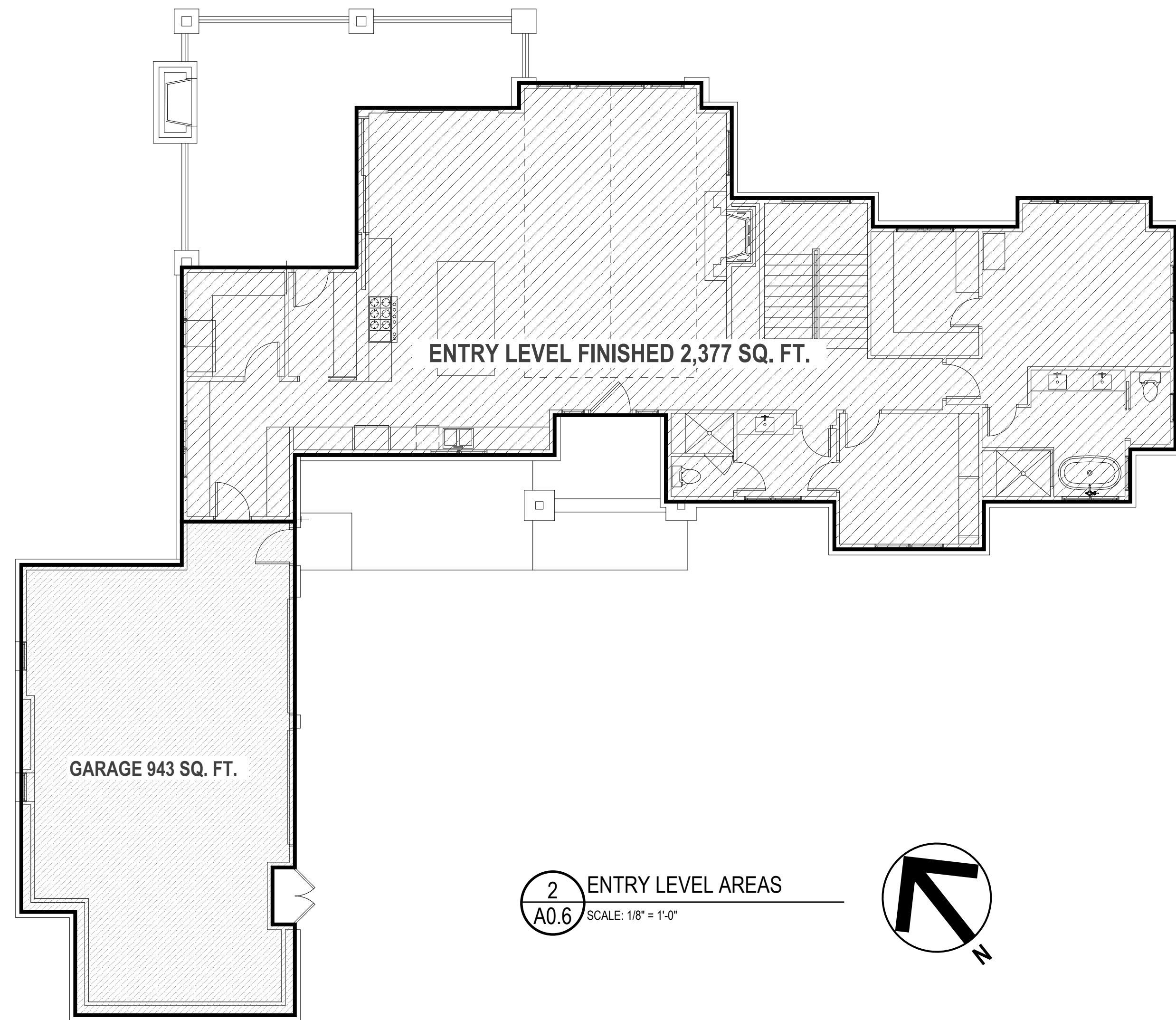
SINCE 1995

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FLOOR AREA:

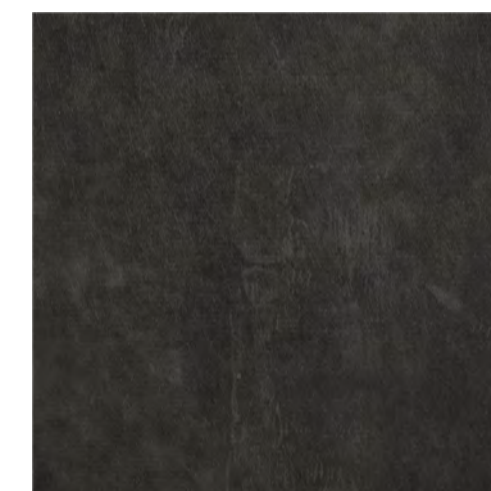
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TOTAL FINISHED	4,159 SF
GARAGE	943 SF
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GROSS SQUARE FOOTAGE	5,596 SF



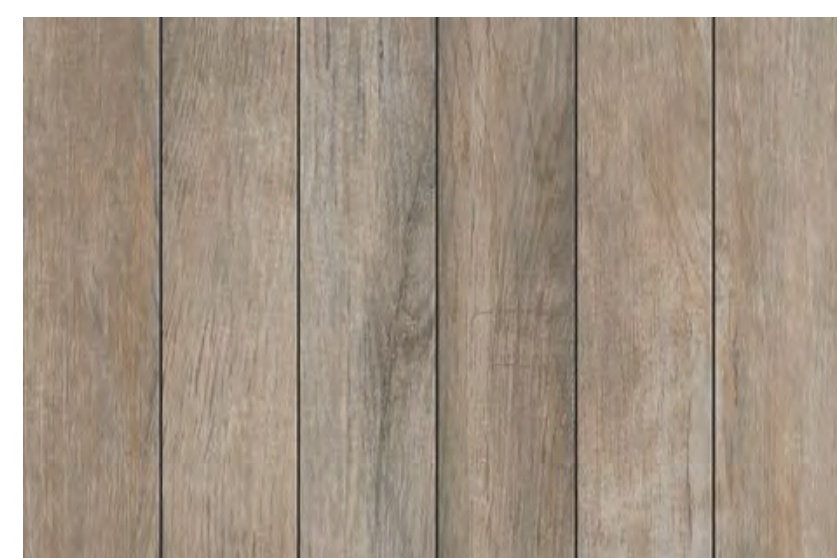
ROOF
STANDING SEAM
DK BRONZE



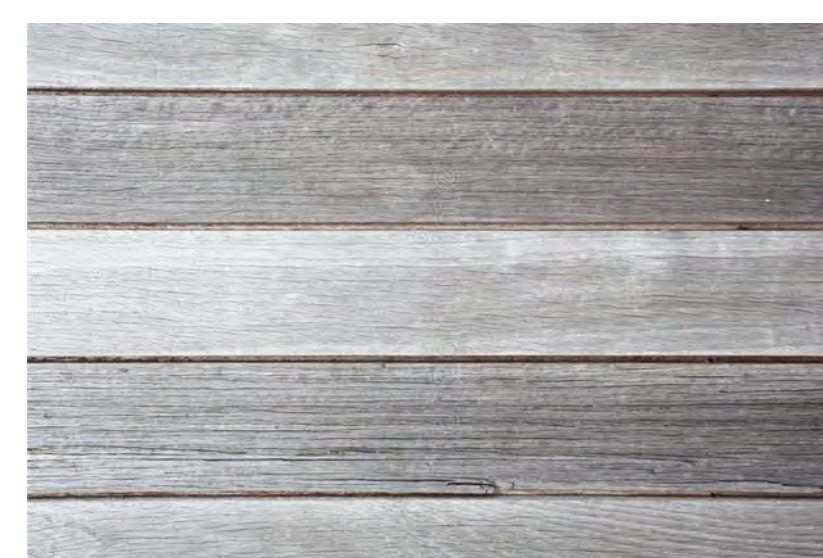
ROOF
DAVINCI - SELECT SHAKE
WEATHERED GRAY



WINDOWS, TRIM AND FACIA
DARK BRONZE



WOOD SIDING
VINTAGE WOODS:
CVG HEMLOCK TOBACCO BROWN



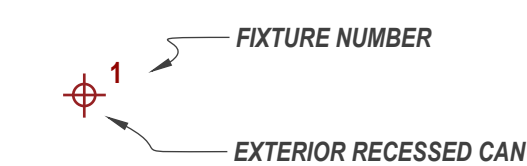
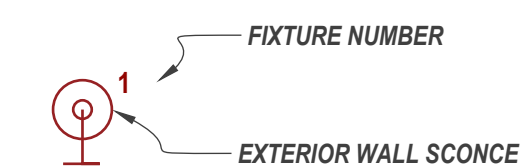
WOOD SIDING
VINTAGE WOODS:
CVG HEMLOCK DRIFTWOOD



STONE VENEER
MOOSE MOUNTAIN LEDGE



EXTERIOR LIGHT FIXTURE
BRAND: QUOIZEL
MODEL: DONEGAL 18 3/4"
COLOR: HIGH MATT BLACK
DARK SKY COMPLIANT
7 WATT MR16 MAX.



EXTERIOR LIGHT FIXTURE
BRAND: NORA LIGHTING
MODEL: 4" ONYX
MODEL NO: NSLIC-401AT/10
DARK SKY COMPLIANT
10W MR16 BULB

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A0.6

AREA
CALCULATIONS /
MATERIAL SPECS



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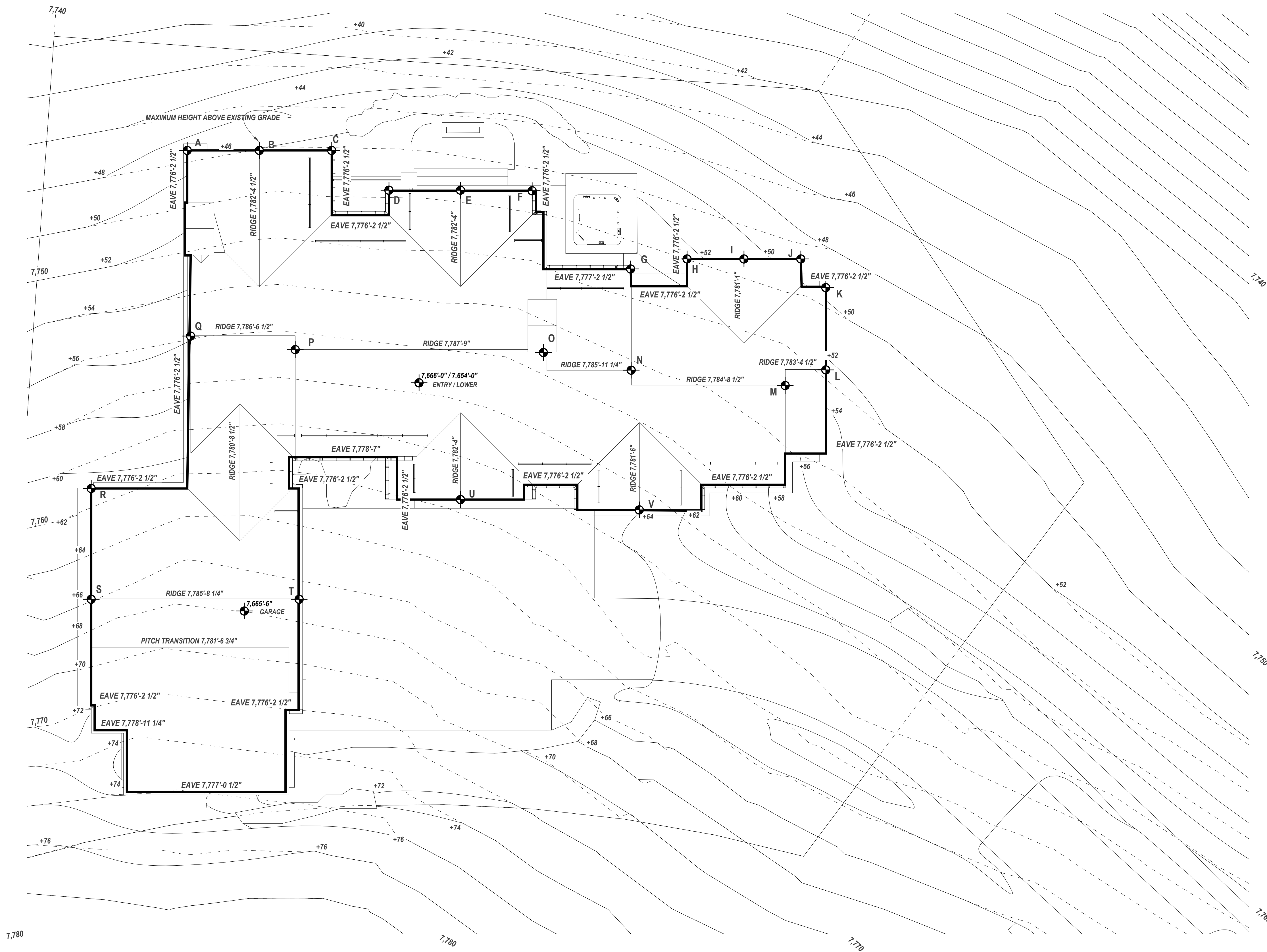
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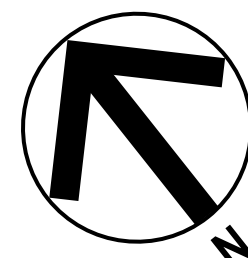
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ROOF HEIGHT
CALCULATIONS

ROOF HEIGHT CALCULATION TABLE:

MARK	EXG. GRADE (USGS)	RIDGE / EAVE ELEVATION (USGS)	PROPOSED GRADE (USGS)	HEIGHT ABOVE EXISTING GRADE	HEIGHT ABOVE PROPOSED GRADE
A	7,747'-6"	7,776'-2 1/2"	7,748'-6"	28'-8 1/2"	27'-8 1/2"
B	7,748'-0"	7,782'-4 1/2"	7,750'-0"	34'-4 1/2" MAX. HGT.	32'-4 1/2"
C	7,748'-0"	7,776'-2 1/2"	7,750'-6"	28'-2 1/2"	25'-8 1/2"
D	7,749'-6"	7,776'-2 1/2"	7,753'-6"	26'-8 1/2"	22'-8 1/2"
E	7,749'-6"	7,782'-4"	7,753'-6"	32'-10"	28'-10"
F	7,749'-0"	7,776'-2 1/2"	7,753'-6"	27'-2 1/2"	22'-8 1/2"
G	7,751'-0"	7,777'-2 1/2"	7,753'-6"	26'-2 1/2"	23'-8 1/2"
H	7,750'-0"	7,776'-2 1/2"	7,752'-6"	26'-2 1/2"	23'-8 1/2"
I	7,749'-3"	7,781'-1"	7,750'-6"	31'-10"	30'-7"
J	7,748'-6"	7,776'-2 1/2"	7,748'-9"	27'-8 1/2"	27'-5 1/2"
K	7,749'-6"	7,776'-2 1/2"	7,749'-9"	26'-8 1/2"	26'-5 1/2"
L	7,751'-9"	7,783'-4 1/2"	7,752'-3"	31'-7 1/2"	31'-1 1/2"
M	7,752'-9"	7,784'-8 1/2"	NA	31'-11 1/2"	NA
N	7,754'-3"	7,785'-11 1/4"	NA	31'-8 1/4"	NA
O	7,755'-3"	7,787'-9"	NA	32'-6"	NA
P	7,756'-9"	7,787'-9"	NA	31'-0"	NA
Q	7,756'-0"	7,786'-6 1/2"	7,756'-0"	30'-6 1/2"	30'-6 1/2"
R	7,761'-0"	7,776'-2 1/2"	7,761'-0"	15'-2 1/2"	15'-2 1/2"
S	7,766'-0"	7,785'-8 1/4"	7,766'-0"	19'-8 1/4"	19'-8 1/4"
T	7,767'-0"	7,785'-8 1/4"	7,765'-6"	18'-8 1/4"	20'-2 1/4"
U	7,761'-6"	7,782'-4"	7,765'-6"	20'-10"	16'-10"
V	7,758'-9"	7,781'-6"	7,764'-0"	22'-9"	17'-6"



1 ROOF HEIGHT CALCULATIONS
A0.7 SCALE: 1/8" = 1'-0"



7,780

7,780

7,770

7,770

7,750

7,740

7,740

Wildfire Hazard Rating



03/23/2023 - 1243 Red Draw, Edwards, CO 81632 - 2107-113-09-006 Completed by - Katie Jenkins, Wildfire Mitigation Specialist

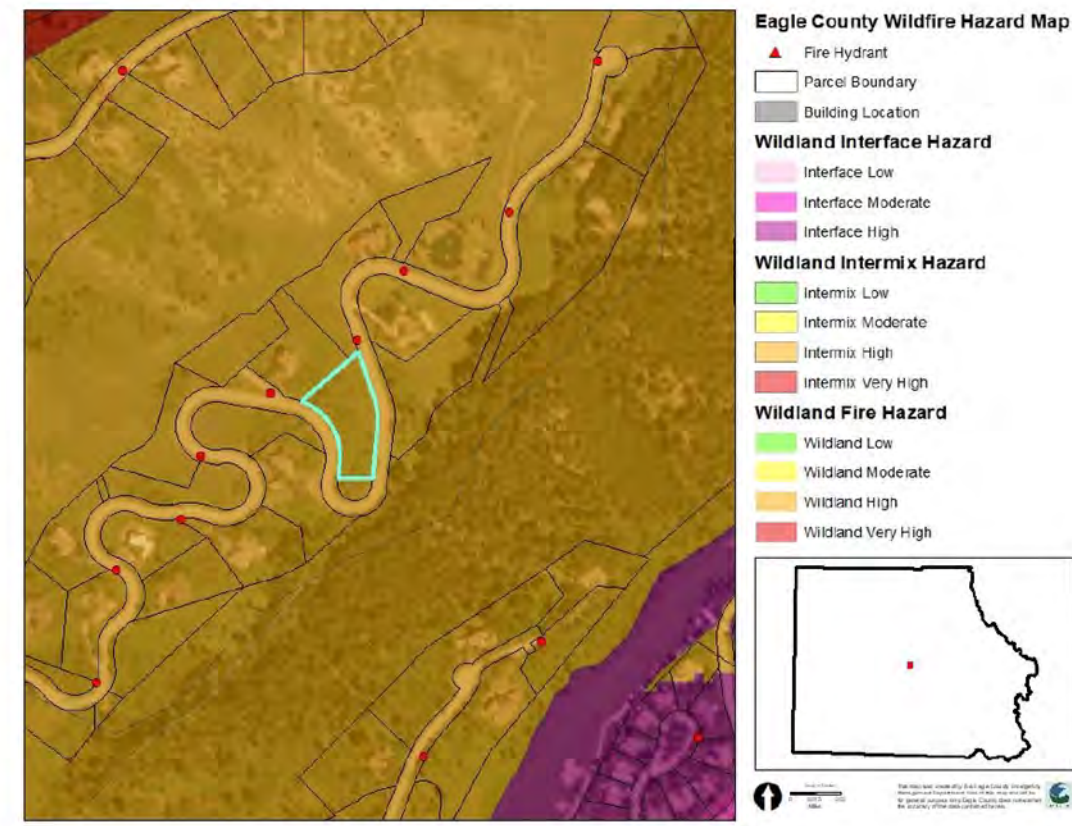
Property Photo(s) :



Address : 1243 Red Draw, Edwards, CO 81632 Parcel ID : 2107-113-09-006 Fire District : Eagle River Fire Protection District Date Completed : 03/23/2023

Overall Wildfire Hazard Rating : Moderate Hazard

Wildfire Hazard Map :



Predominant Vegetation Type : mixed tall shrub / aspen, with native grass. (35 points) Average slope (within 200 ft of structure) : 8% to 20% (15 points) Additional Wildfire Hazards : Wildfire Hazards Score (Vegetation + Slope + Hazards) : 50

Building Construction : Access and Infrastructure : One primary road, one emergency access (limited capacity). (3 points). Paved surface, 0% to 8% average grade (2 points), Electric service (power lines) completely underground within community (3 points), Water supply - hydrant within 600 ft (5 points) Improvements Score (Building Construction + Access and Infrastructure) : 13

Overall Wildfire Hazard Rating (Wildfire Hazards - Improvements) : Moderate Hazard (21 to 45 points) Additional Hazards/Observations : Images/Additional Files :



Defensible Space Requirements: A pre-construction meeting may be required, contact EC Wildfire Mitigation upon issuance of building permit (970-328-8742)

Zone 1: Is the area of maximum modification and treatment. The intent of Zone 1 is to reduce fuels that are immediately adjacent to flammable elements of the structure, and to provide a clear access for firefighting operations. Zone 1 is an area measured 30 feet from the edges of the structure. Ideally, all trees within Zone 1 should be removed to reduce the fire hazard. If a tree or cluster of trees must remain, it will be considered as an integral part of the structure and Defensible Space will be measured from the drip line of the tree or tree cluster.

Zone 2: Within this zone, the continuity and arrangement of vegetation is modified to reduce the intensity of any fire approaching the structure. Zone 2 is an area measured 30-100 feet from the edges of the structure (or to property boundaries on smaller lots). Trees and shrubs must be thinned so that there is a minimum of 10 feet between crowns. Crown separation is measured from the furthest branch of one tree to the nearest branch on the next tree. All ladder fuels from under these trees must be removed. All trees must be pruned to at least 10 feet above the ground, but no more than 1/3 the overall height of the tree (Aspen trees, individual spruce, fir and pine specimens are exempt). The inner portions of Zone 2 must be more heavily thinned than the outer portions. Isolated shrubs may remain provided they are not under tree crowns. These shrubs must be pruned and maintained for vigorous growth. Dead stems and shrubs must be removed. Dead trees, which can fall onto a structure or block an access, must be removed.

Construction Guidelines for Wildfire Hazard Areas

Table with 5 columns: Wildfire Hazard Rating, Roofing, Decking, Soffits/Eaves, Siding. Rows include Low Hazard, Moderate Hazard, and High - Extreme Hazard.

Fire Rating (Roof) -

Fire ratings for roof coverings are classified either A, B, C or nonrated (Required Standard: (ASTM) E-108).

Ignition Resistant Deck Construction-

(Required Standard: ASTM E84 and listed for exterior use)

Class A Deck Construction (High Hazard Areas)

- Decks completely built with non-combustible materials. Construct a waterproof deck and protect the underside with 5/8" type X gypsum board. Decking can be of any material allowed by code with this method. Build deck using Type IV (Heavy Timber) construction (Chapter 6 of the 2009 IBC). Joist and beams to be minimum 8" x 10" Decking to be minimum 4" in depth. Posts to be minimum 8" x 8". Any structural members and decking materials having a flame spread of less than 25. Some accepted materials: Ipe, aka: Ironwood, Brazilian Redwood and Brazilian Walnut, Brazilian Koa; Kayu Batu hardwood decking; FRX Exterior fire-retardant treated wood; Exterior FireX by Hoover Mfg.; Sensibuilt Composite Decking by Fibron.

Class B Deck Construction (Moderate Hazard Areas)

- Any structural members and decking materials having a flame spread of 26-75. Some accepted materials: Redwood, Douglas-fir, Sitka Spruce (minimum one inch nominal thickness); Trex Transcends FR composite decking; Advantage Ipe® decking by Advantage Lumber.

Table with 10 columns: Assembly, Gross Area or Perimeter, Cavity R-Value, Cont. R-Value, Prop. U-Factor, Req. U-Factor, Prop. UA, Req. UA. Rows include Basement Wall 1 and Floor 1.

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2015 IECC requirements in RESCHECK Version 4.7.2 and to comply with the mandatory requirements listed in the RESCHECK Inspection Checklist.

Glenn Harakal Name - Title Signature Date June 8, 2023

REScheck Software Version 4.7.2 Compliance Certificate

Project PRIER RESIDENCE

Energy Code: 2015 IECC Location: Eagle, Colorado Construction Type: Single-family Project Type: New Construction Conditioned Floor Area: 4,159 ft2 Glazing Area: 24% Climate Zone: 6 (8106 HDD) Permit Date: TBD Permit Number: TBD

Construction Site: 1243 RED DRAW LOT 15, FILING 11 CORDILLERA EAGLE COUNTY, CO

Owner/Agent: JOSIAH AND HEATHER PRIER 6752 S. LEYDEN CT. ENGLEWOOD, CO 80112-1005

Designer/Contractor: Glenn Harakal SCOTT S. TURNIPSEED, AIA 1143 CAPITOL STREET SUITE 211 EAGLE, CO 81631 970-328-3900 glenn@sstaia.com

Compliance: Passes using UA trade-off

Compliance: 1.6% Better Than Code Maximum UA: 643 Your UA: 633 The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

NOTE: Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in RESCHECK. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Table with 10 columns: Assembly, Gross Area or Perimeter, Cavity R-Value, Cont. R-Value, Prop. U-Factor, Req. U-Factor, Prop. UA, Req. UA. Rows include Ceiling 1, front elevation, Window 1, Door 1, right elevation, Window 2, rear elevation, Window 3, Door 2, left elevation, Window 4, Door 3.

Project Title: PRIER RESIDENCE Report date: 06/08/23 Data filename: P:\SST Projects_SST Projects_Glenn\ACTIVE PROJECTS\Prier Residence\Admin\PRIER RESIDENCE - RESCHECK.rck Page 1 of 2

Project Title: PRIER RESIDENCE Report date: 06/08/23 Data filename: P:\SST Projects_SST Projects_Glenn\ACTIVE PROJECTS\Prier Residence\Admin\PRIER RESIDENCE - RESCHECK.rck Page 2 of 2



SINCE 1995

PRIER RESIDENCE 1243 RED DRAW - LOT 15, FILING 11 CORDILLERA EAGLE COUNTY, COLORADO

Table with 2 columns: ISSUE, DATE. Rows include CLIENT REVIEW, DRB Preliminary Review, DRB submittal update, DRB submittal, DRB submittal update, DRB submittal, DRB submittal update, DRB TECHNICAL / PERMIT.

SCOTT S. TURNIPSEED AIA ARCHITECTURE & CONSTRUCTION INC. 1143 CAPITOL STREET, SUITE 211 EAGLE, COLORADO 81631 970.328.3900 WWW.SSTAIA.COM

A0.8 WILDFIRE HAZARD RATING / RESCHECK

TEMPORARY EROSION CONTROL

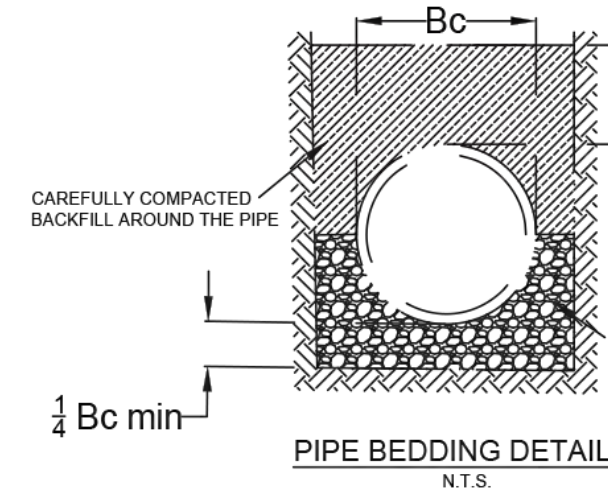
1. THE CONTRACTOR WILL PROVIDE EROSION CONTROL IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES.
2. THE CONTRACTOR WILL PROVIDE EROSION CONTROL IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES.
3. VEHICLE TRACKING PAD WITH A MINIMUM LENGTH OF 50 FEET WILL BE CONSTRUCTED AT THE DRIVEWAY CONNECTION TO THE ROAD.
4. SILT FENCES WILL BE CONSTRUCTED ON THE DOWNHILL SIDE OF THE LIMITS OF DISTURBANCE AND AT THE BASE OF STOCKPILED MATERIAL, PRIOR TO EXCAVATION, AND MAINTAINED AND KEPT IN PLACE UNTIL THE FINISH GRADE IS CONSTRUCTED AND REVEGETATED.
5. THE CONSTRUCTED DRAINAGE SWALES MUST BE PROTECTED FROM EROSION DURING CONSTRUCTION AND PRIOR TO PERMANENT RE-VEGETATION.
6. STRAW WATTLES WILL BE INSTALLED ALONG THE FLOWLINE OF THE SWALES AT 25-FT INTERVALS.
7. THE CONTRACTOR WILL BE RESPONSIBLE FOR PREVENTING THE RELEASE OF SEDIMENT WITH THE RUNOFF FROM THE SITE AND WILL BE RESPONSIBLE FOR THE INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES AT THE REQUEST OF THE APPROPRIATE BUILDING OFFICIALS.

EROSION CONTROL NOTES:

1. **PHASE CONSTRUCTION.** CONSTRUCTION ACTIVITIES, SUCH AS CLEARING, GRADING, ROAD CONSTRUCTION, AND UTILITIES INSTALLATION SHALL BE PHASED TO MINIMIZE SOIL EXPOSURE. SEDIMENT TRAPPING PRACTICES SHALL BE INSTALLED AND STABILIZED BEFORE SITE GRADING OR OTHER CONSTRUCTION IS INITIATED.
2. **SOIL STABILIZATION.** ALL DISTURBED AREAS AND SOIL STOCKPILES SHALL BE SURFACE ROUGHENED, MULCHED, OR SEEDED AND MULCHED, OR OTHERWISE PROTECTED FROM EROSION. FORCE IF THEY WILL REMAIN EXPOSED AND INACTIVE FOR PERIODS LONGER THAN FOURTEEN (14) DAYS, OR IF SOIL WILL BE EXPOSED DURING WINTER. DISTURBED AREAS SHALL BE MULCHED, OR SEEDED AND MULCHED WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED. GRASS OR STRAW MULCH SHALL BE CRIMPED IN PLACE. ON SLOPES STEEPER THAN TWENTY (20) PERCENT, OR WITHIN FIFTY (50) FEET OF ANY WATER BODY, EXPOSED SOILS SHALL BE HYDROMULCHED OR COVERED WITH NETS OR MATS.
3. **PERMANENT REVEGETATION.** ANY DISTURBED AREA THAT IS NOT BUILT UPON FOR ONE (1) YEAR OR LONGER SHALL BE REVEGETATED WITH A PERENNIAL, NATIVE GRASS MIX WITHIN ONE GROWING SEASON OF PROJECT COMPLETION. VEGETATIVE SITE COVERAGE SHALL BE EQUAL TO OR GREATER THAN SEVENTY (70) PERCENT OF THE DISTURBED AREAS. TEMPORARY IRRIGATION WILL BE IMPLEMENTED UNTIL THE VEGETATION HAS BEEN ESTABLISHED.

SILT FENCE

1. ALONG THE TOE OF HILLS, INSTALL THE SILT FENCE ALONG A LEVEL CONTOUR AND PROVIDE AREA BEHIND THE FENCE FOR RUNOFF TO POND AND SEDIMENT TO SETTLE. A MINIMUM OF 5 FEET AWAY FROM THE TOE OF THE HILL IS RECOMMENDED.
2. THE HEIGHT OF THE SILT FENCE FROM THE GROUND SURFACE WILL BE MINIMUM 24 INCHES AND WILL NOT EXCEED 36 INCHES.
3. SILT FENCES WILL BE PERIODICALLY MAINTAINED. REMOVE SEDIMENT ACCUMULATED BEHIND THE SILT FENCE WHEN IT HAS REACHED HALF THE EXPOSED FABRIC HEIGHT.
4. DAMAGED SILT FENCE SHOULD BE PROMPTLY REPAIRED.
5. REMOVE SILT FENCES AFTER THEY HAVE SERVED THEIR USEFULNESS.



- NOTE:**
1. ALL UTILITY CONNECTIONS WILL BE DONE ACCORDING TO THE INDIVIDUAL UTILITY COMPANY SPECIFICATIONS.
 2. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET WILL BE MAINTAINED BETWEEN THE WATER AND SEWER LINES.
 3. UTILITY TRENCHES CROSSING UNDER A DRIVEWAY MUST BE BACKFILLED WITH A SUITABLE STRUCTURAL MATERIAL, APPROVED BY THE ENGINEER, COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY AND WITHIN TWO PERCENT OF THE OPTIMUM MOISTURE CONTENT OF A STANDARD PROCTOR TEST.
 4. CURRENT UTILITY LOCATES MUST BE SCHEDULED PRIOR TO THE CONNECTION OF THE INDIVIDUAL UTILITIES.
 5. IF UNDESIRABLE SOIL IS ENCOUNTERED IN THE UTILITY TRENCHES, THE ENGINEER MUST BE NOTIFIED IMMEDIATELY.

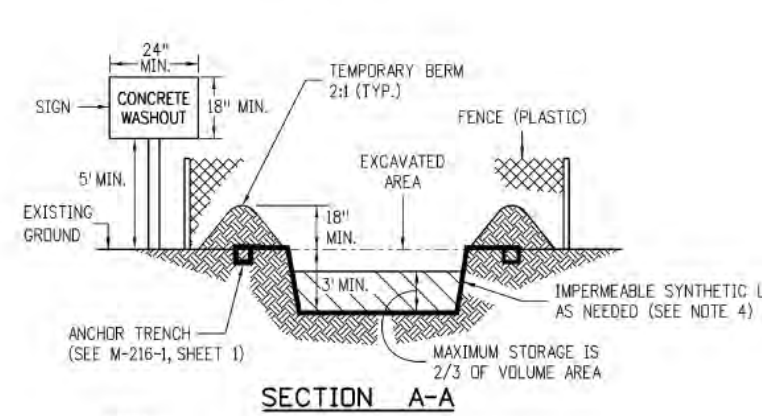
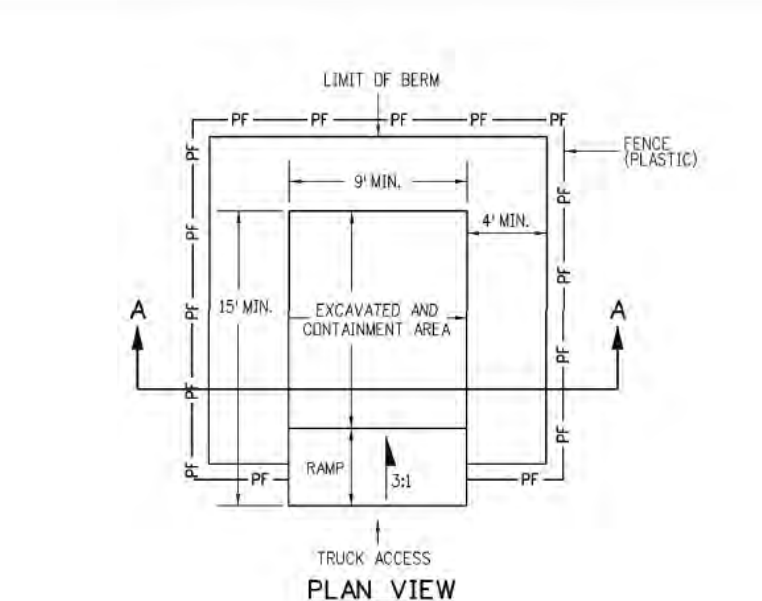
GENERAL NOTES

1. BEFORE DIGGING NOTIFY ALL APPLICABLE UTILITY COMPANIES.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROJECT.
3. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
4. NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
5. CONFLICTS OR DISCREPANCIES WITH GRADES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY AND PRIOR TO PROCEEDING WITH WORK.
6. ALL FINISH GRADES SHALL PROVIDE FOR NATURAL RUNOFF OF WATER WITHOUT LOW SPOTS OR POCKETS.
7. ALL COMPACTION SHALL BE DONE IN ACCORDANCE WITH THE SOILS REPORT PREPARED FOR THIS SITE.
8. ALL DISTURBED AREAS WILL BE RESTORED AND REVEGETATED ACCORDING TO THE LANDSCAPING PLAN.



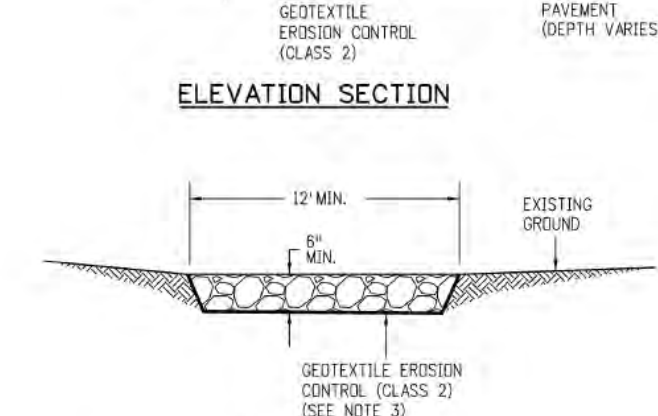
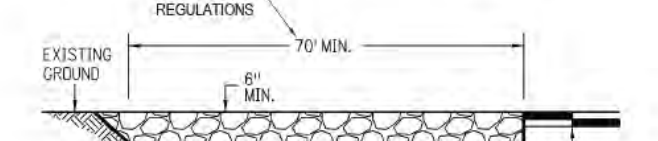
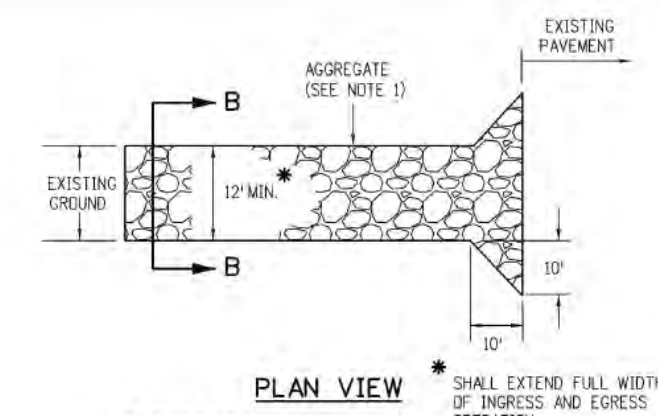
TURNIPSEED
ARCHITECTURE
CONSTRUCTION
INTERIOR DESIGN
SINCE 1995

PRIER RESIDENCE
1243 RED DRAW - LOT 15, FILING 11 CORDILLERA
EAGLE COUNTY, COLORADO



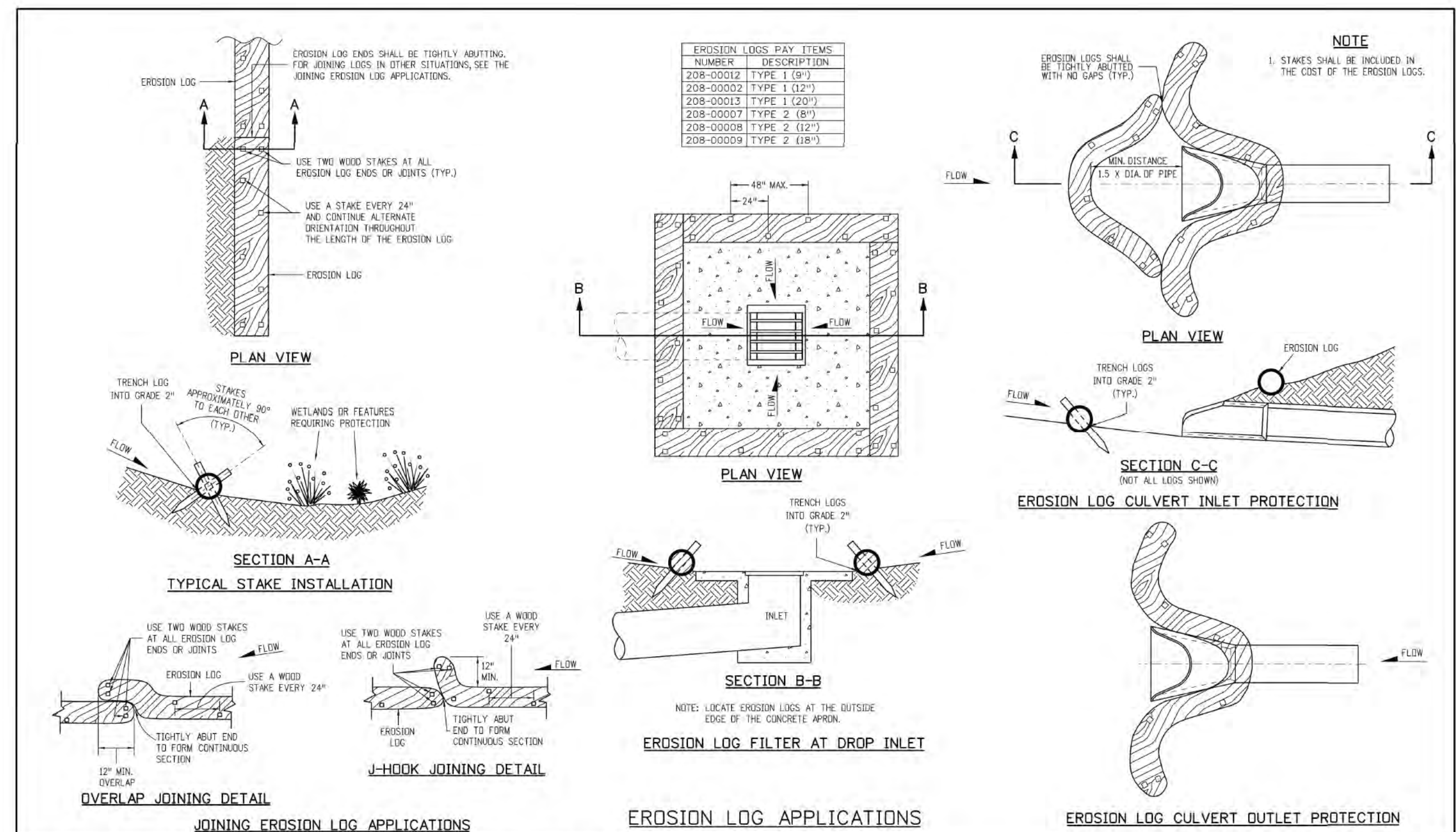
- NOTES:**
1. A FENCE (PLASTIC) CONFORMING TO SECTION 607 SHALL BE INSTALLED AROUND THE CONCRETE WASHOUT AREA, EXCEPT AT THE OPENING.
 2. THE CONCRETE WASHOUT SIGN SHALL HAVE LETTERS AT LEAST 3 INCHES HIGH AND CONFORM TO SUBSECTION 630.02.
 3. ALL MATERIALS AND LABOR TO COMPLETE THE CONCRETE WASHOUT STRUCTURE SHALL BE INCLUDED IN THE COST OF WORK AND NOT PAID FOR SEPARATELY.
 4. THE BOTTOM OF EXCAVATION SHALL BE A MINIMUM OF FIVE FEET ABOVE GROUND WATER. IF NOT, IT SHALL BE LINED WITH AN IMPERMEABLE SYNTHETIC LINER THAT IS DESIGNED TO CONTROL SEEPAGE AT A MAXIMUM RATE OF 5 TO 10 CENTIMETERS PER SECOND.
 5. THE PAY ITEM NUMBER FOR CONCRETE WASHOUT STRUCTURE (EACH) IS 208-0004S.

CONCRETE WASHOUT STRUCTURE

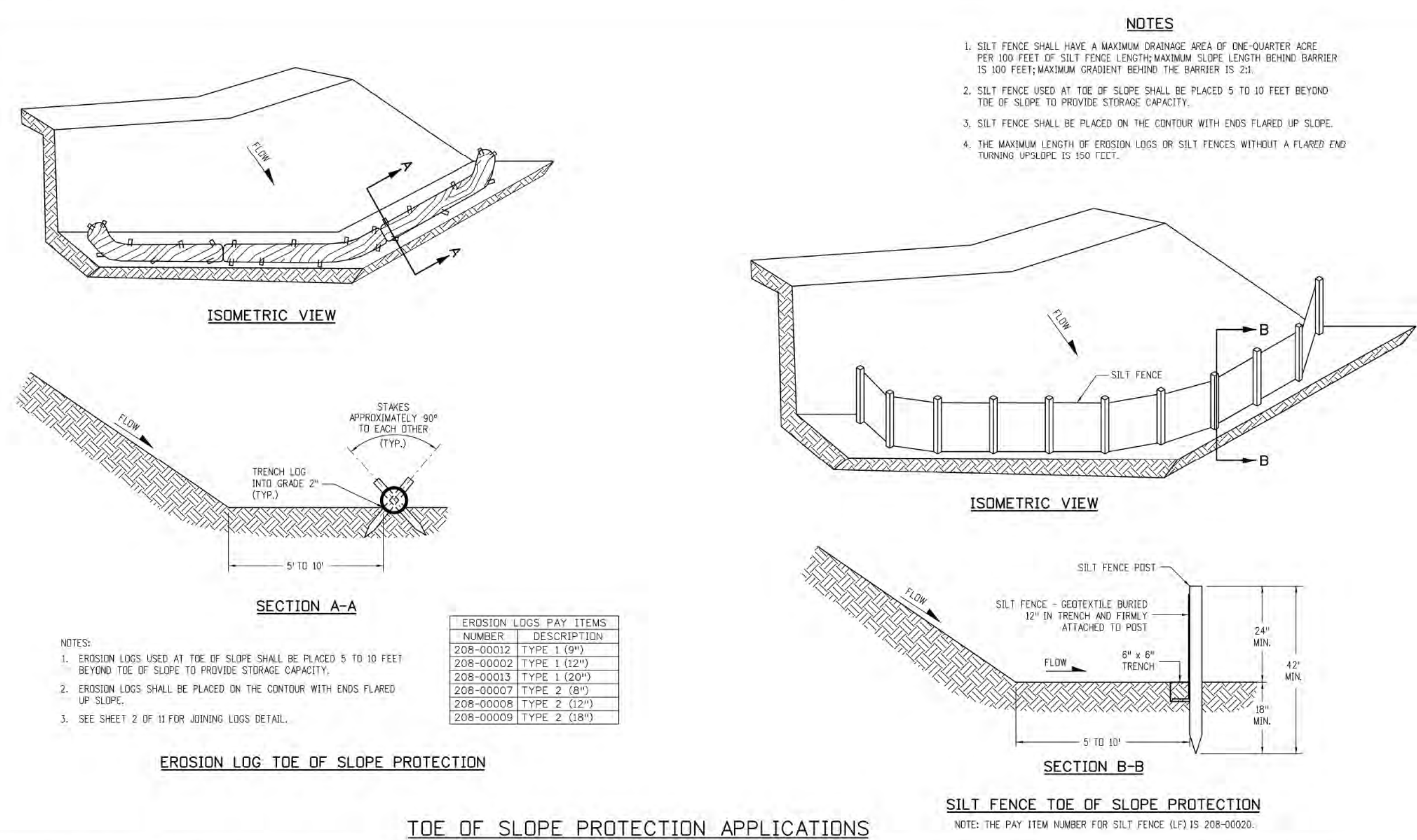


- NOTES:**
1. AGGREGATE SHALL CONFORM TO SUBSECTION 208.02 (K).
 2. THE CONTRACTOR SHALL PROTECT CURB AND GUTTER THAT CROSSES THE ENTRANCE FROM DAMAGE PROTECTION OF THE CURB AND GUTTER SHALL BE INCLUDED IN THE COST OF WORK AND NOT PAID FOR SEPARATELY.
 3. GEOTEXTILE SHALL CONFORM TO SUBSECTION 712.05.
 4. ALL MATERIALS AND LABOR TO COMPLETE THE VEHICLE TRACKING PAD SHALL BE INCLUDED IN THE COST OF WORK AND NOT PAID FOR SEPARATELY.
 5. THE PAY ITEM NUMBER FOR VEHICLE TRACKING PAD (EACH) IS 208-0007S.

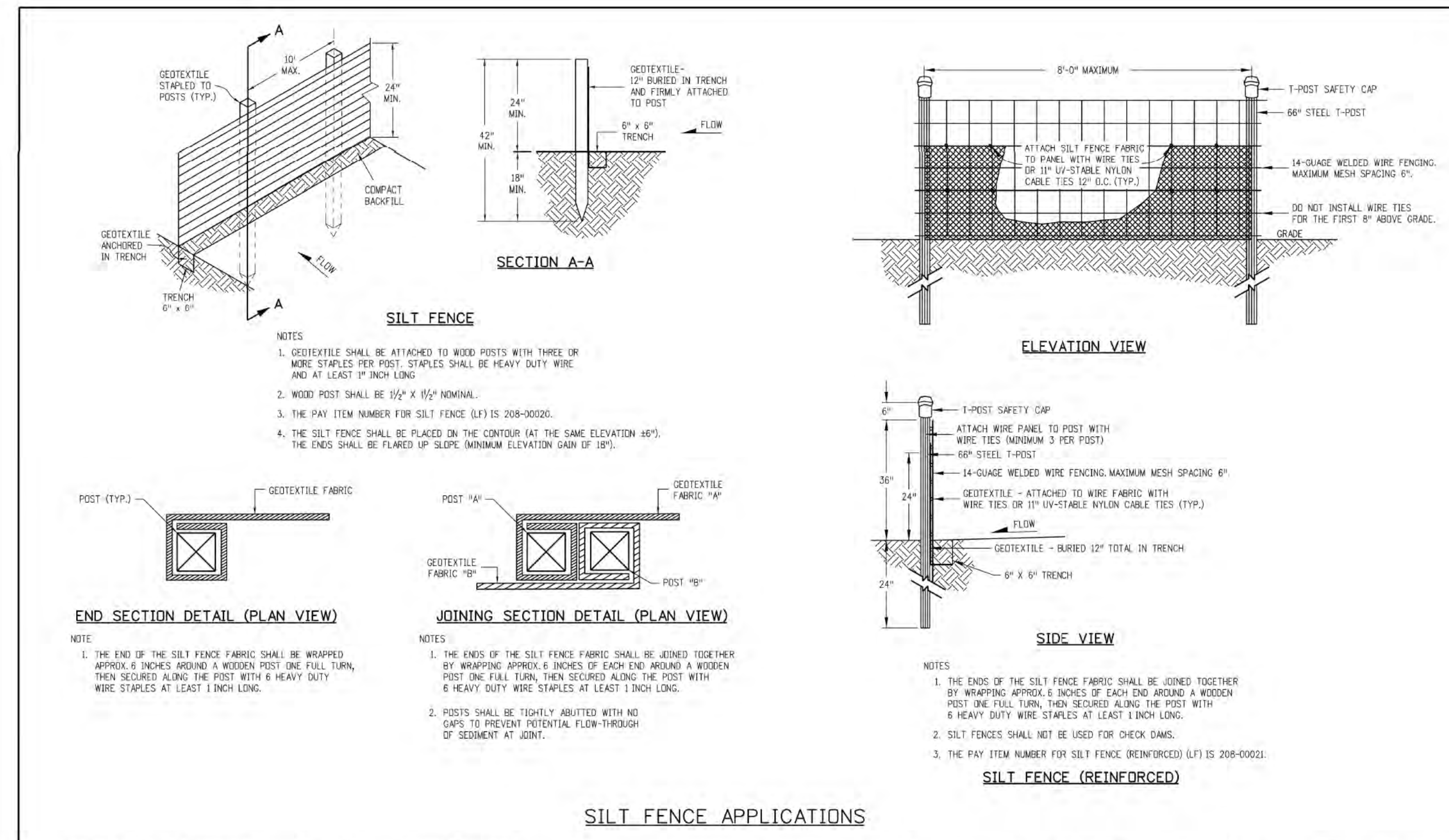
VEHICLE TRACKING PAD



Computer File Information	Sheet Revisions	Colorado Department of Transportation	TEMPORARY EROSION CONTROL	STANDARD PLAN NO.
Creation Date: 07/04/12 Last Modification Date: 08/10/17 Full Path: www.coloradodot.info/business/designsupport Drawing File Name: 208010201.dgn CAD Ver: MicroStation V8 Scale: Not to Scale Units: English	Initials: JBK Date: 07/16/15 Comments: [REDACTED] 03/29/15 [REDACTED]	4201 East Arkansas Avenue CDOT HQ, 4th Floor Denver, CO 80222 Phone: 303-757-9021 FAX: 303-757-9868 Division of Project Support JBK/LTA	M-208-1	M-208-1
			Issued By: Project Development Branch on July 4, 2012	Sheet No. 1 of 11



Computer File Information	Sheet Revisions	Colorado Department of Transportation	TEMPORARY EROSION CONTROL	STANDARD PLAN NO.
Creation Date: 07/04/12 Last Modification Date: 03/29/16 Full Path: www.coloradodot.info/business/designsupport Drawing File Name: 208010301.dgn CAD Ver: MicroStation V8 Scale: Not to Scale Units: English	Initials: JBK Date: 03/29/16 Comments: [REDACTED]	4201 East Arkansas Avenue CDOT HQ, 4th Floor Denver, CO 80222 Phone: 303-757-9021 FAX: 303-757-9868 Division of Project Support JBK/LTA	M-208-1	M-208-1
			Issued By: Project Development Branch on July 4, 2012	Sheet No. 3 of 11



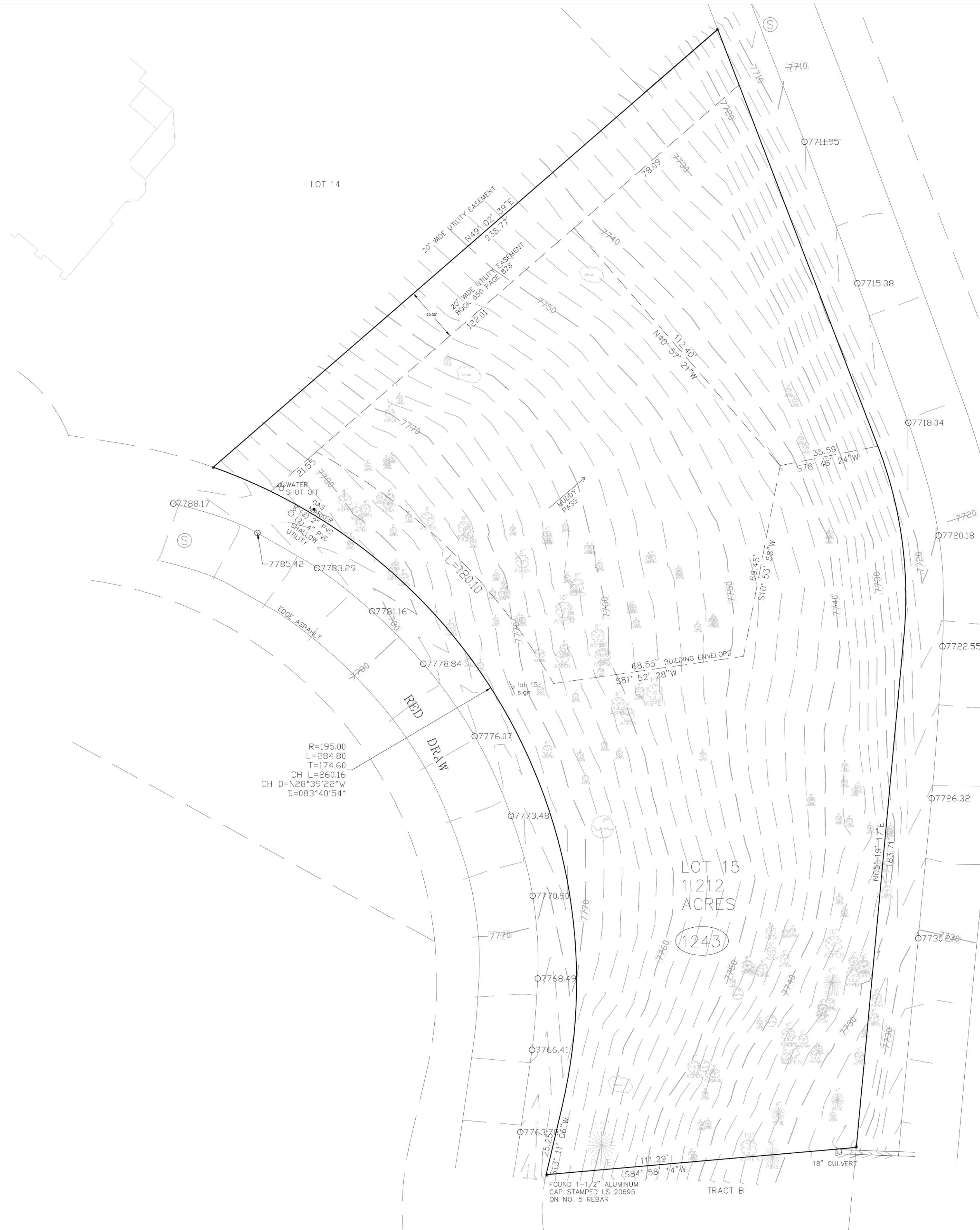
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Creation Date: 07/04/12 Last Modification Date: 03/29/16 Full Path: www.coloradodot.info/business/designsupport Drawing File Name: 208010801.dgn CAD Ver: MicroStation V8 Scale: Not to Scale Units: English	Initials: JBK Date: 03/29/16 Comments: [REDACTED]	4201 East Arkansas Avenue CDOT HQ, 4th Floor Denver, CO 80222 Phone: 303-757-9021 FAX: 303-757-9868 Division of Project Support JBK/LTA	M-208-1	M-208-1
			Issued By: Project Development Branch on July 4, 2012	Sheet No. 8 of 11

ISSUE:	DATE:
CLIENT REVIEW	12.21.2022
CLIENT REVIEW	01.11.2023
DRB Preliminary Review	01.31.2023
DRB submittal update	02.02.2023
CLIENT REVIEW	02.17.2023
DRB submittal	02.21.2023
DRB submittal update	02.23.2023
DRB submittal	03.28.2023
DRB submittal update	03.29.2023
DRB TECHNICAL / PERMIT	06.08.2023

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A0.9
EROSION CONTROL DETAILS

TOPOGRAPHIC SURVEY
LOT 15, CORDILLERA SUBDIVISION,
FILING NO. 11
1243 RED DRAW
 County of Eagle, State of Colorado



R=195.00
 L=284.80
 T=174.60
 CH L=260.16
 CH D=N28°39'22"W
 D=083°40'54"

FOUND 1-1/2" ALUMINUM
 CAP STAMPED LS 20695
 ON NO. 5 REBAR

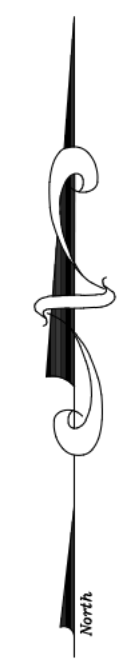
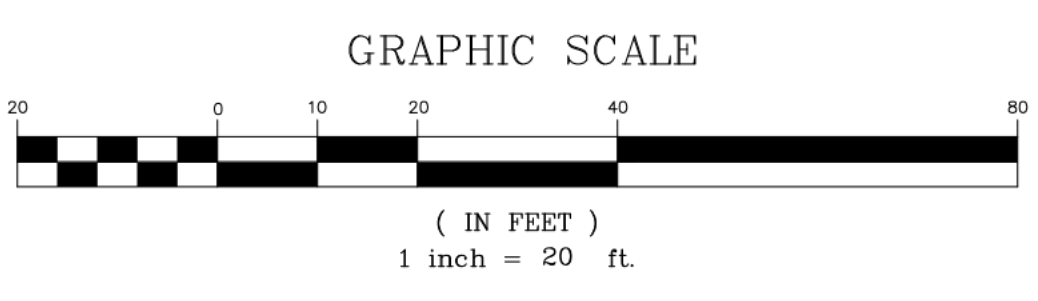


- LEGAL DESCRIPTION
 LOT 15 CORDILLERA SUBDIVISION FILING NO. 11, EAGLE COUNTY, COLORADO
- NOTES:
- 1) CONTOUR INTERVAL: 2-FOOT.
 - 2) THIS TOPOGRAPHIC MAP DOES NOT REPRESENT A MONUMENTED SURVEY, LAND SURVEY PLAT, OR IMPROVEMENT SURVEY PLAT.
 - 3) THERE WAS 1 FOOT OF SNOW COVER AT TIME OF SURVEY.

I, PATRICK J. QUENON, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THIS TOPOGRAPHIC SURVEY WAS DONE BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT IT WAS PERFORMED USING THE STANDARD CARE AND PRACTICE USED IN THE AREA AT THE TIME OF THE SURVEY. THE NOTES HEREON ARE A PART OF THIS CERTIFICATION.

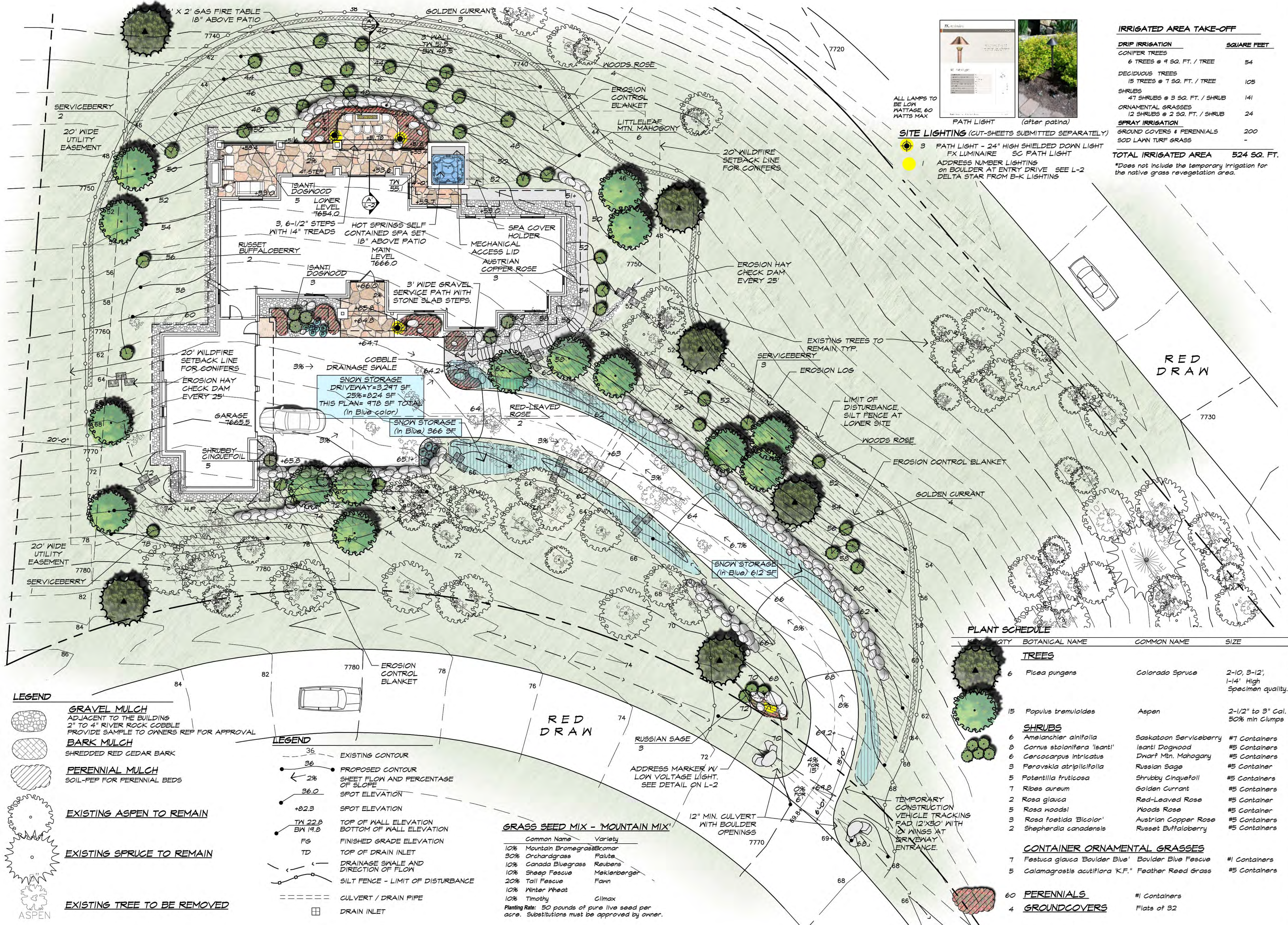


PATRICK J. QUENON
 COLORADO PROFESSIONAL
 LAND SURVEYOR



QUENON ENGINEERING AND SURVEYING, LLC
 P.O. BOX 151, EAGLE, COLORADO, 81631
 (970) 328-5117,

TOPOGRAPHIC SURVEY
 LOT 8, CORDILLERA SUB. F7
 EDWARDS, CO
 County of Eagle, State of Colorado



LEGEND

- GRAVEL MULCH**
ADJACENT TO THE BUILDING
2" TO 4" RIVER ROCK COBBLE
PROVIDE SAMPLE TO OWNERS REP FOR APPROVAL
- BARK MULCH**
SHREDDED RED CEDAR BARK
- PERENNIAL MULCH**
SOIL-PEP FOR PERENNIAL BEDS
- EXISTING ASPEN TO REMAIN**
- EXISTING SPRUCE TO REMAIN**
- EXISTING TREE TO BE REMOVED**

LEGEND

- 36 - EXISTING CONTOUR
- 2% - PROPOSED CONTOUR SHEET FLOW AND PERCENTAGE OF SLOPE
- 36.0 - SPOT ELEVATION
- +82.3 - SPOT ELEVATION
- TW 22.8 BVI 19.8 - TOP OF WALL ELEVATION BOTTOM OF WALL ELEVATION
- FG - FINISHED GRADE ELEVATION
- TD - TOP OF DRAIN INLET
- - - - DRAINAGE SWALE AND DIRECTION OF FLOW
- - - - SILT FENCE - LIMIT OF DISTURBANCE
- - - - CULVERT / DRAIN PIPE
- - DRAIN INLET

GRASS SEED MIX - 'MOUNTAIN MIX'

Common Name	Variety
10% Mountain Bromegrass	Bcomar
30% Orchardgrass	Palvta
10% Canada Bluegrass	Reubens
10% Sheep Fescue	Meklenberger
20% Tall Fescue	Fawn
10% Winter Wheat	
10% Timothy	Climax

Planting Rate: 50 pounds of pure live seed per acre. Substitutions must be approved by owner.

ALL LAMPS TO BE LOW WATTAGE 60 WATTS MAX

PATH LIGHT (after patina)

SITE LIGHTING (CUT-SHEETS SUBMITTED SEPARATELY)

- 3 PATH LIGHT - 24" HIGH SHIELDED DOWN LIGHT FX LUMINAIRE SC PATH LIGHT
- 1 ADDRESS NUMBER LIGHTING ON BOULDER AT ENTRY DRIVE SEE L-2 DELTA STAR FROM B-K LIGHTING

IRRIGATED AREA TAKE-OFF

DRIP IRRIGATION	SQUARE FEET
CONIFER TREES	
6 TREES @ 9 SQ. FT. / TREE	54
DECIDUOUS TREES	
15 TREES @ 7 SQ. FT. / TREE	105
SHRUBS	
47 SHRUBS @ 3 SQ. FT. / SHRUB	141
ORNAMENTAL GRASSES	
12 SHRUBS @ 2 SQ. FT. / SHRUB	24
SPRAY IRRIGATION	
GROUND COVERS & PERENNIALS	200
SOD LAWN TURF GRASS	-
TOTAL IRRIGATED AREA	524 SQ. FT.

*Does not include the temporary irrigation for the native grass revegetation area.

PLANT SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
6	<i>Picea pungens</i>	Colorado Spruce	2-10, 3-12', 1-14' High Specimen quality.
15	<i>Populus tremuloides</i>	Aspen	2-1/2" to 3" Cal. 50% min Clumps
SHRUBS			
6	<i>Amelanchier alnifolia</i>	Saskatoon Serviceberry	#7 Containers
8	<i>Cornus stolonifera</i> 'Isanti'	Isanti Dogwood	#5 Containers
6	<i>Cercocarpus intricatus</i>	Dwarf Min. Mahogany	#5 Containers
3	<i>Perovskia atriplicifolia</i>	Russian Sage	#5 Container
5	<i>Potentilla fruticosa</i>	Shrubby Cinquefoil	#5 Containers
7	<i>Ribes aureum</i>	Golden Currant	#5 Containers
2	<i>Rosa glauca</i>	Red-Leaved Rose	#5 Container
5	<i>Rosa woodsii</i>	Woods Rose	#5 Container
3	<i>Rosa foetida</i> 'Bicolor'	Austrian Copper Rose	#5 Containers
2	<i>Shepherdia canadensis</i>	Russet Buffaloberry	#5 Containers
CONTAINER ORNAMENTAL GRASSES			
7	<i>Festuca glauca</i> 'Boulder Blue'	Boulder Blue Fescue	#1 Containers
5	<i>Calamagrostis acutiflora</i> 'K.F.'	Feather Reed Grass	#5 Containers
PERENNIALS			
60			#1 Containers
GROUNDCOVERS			
4			Flats of 32

DENNIS ANDERSON
LANDSCAPE ARCHITECTURE

TURNPISEED
ARCHITECTURE
CONSTRUCTION
INTERIOR DESIGN
SINCE 1995

PRIER RESIDENCE
1243 RED DRAW - LOT 15, FILING 11 CORDILLERA
EAGLE COUNTY, COLORADO

ISSUE: PRELIMINARY DRB 01.22.2023
PRELIMINARY DRB 02.19.2023
PRELIMINARY DRB 03.13.2023
FINAL DRB 03.28.2023

N
E
W
S

0 5' 10' 20'

SCALE: 1" = 10'-0"

SCOTT S. TURNPISEED AIA
ARCHITECTURE
& CONSTRUCTION INC.
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EAGLE, CO. 81621
970.328.3000 WWW.STALCON.COM

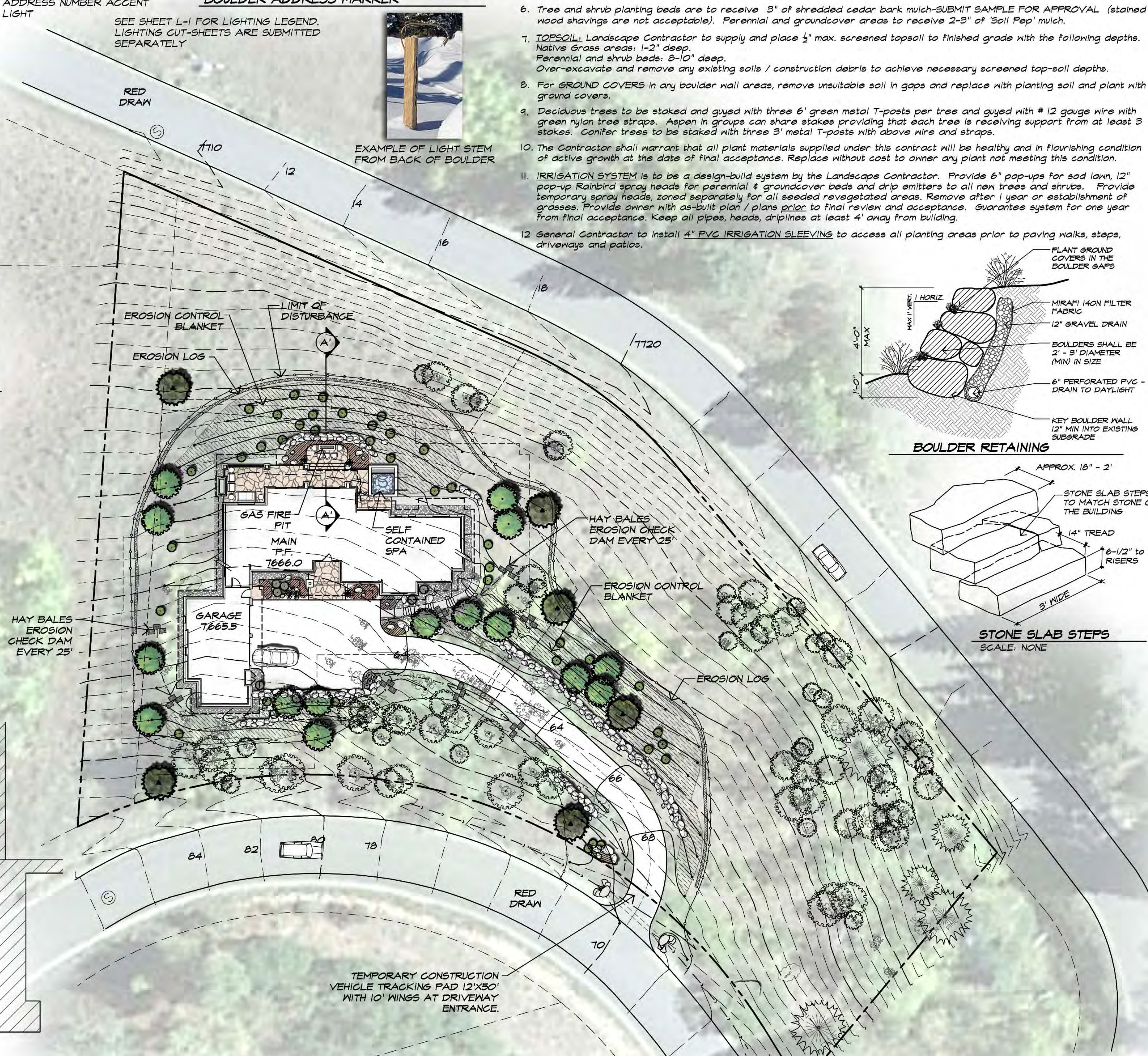
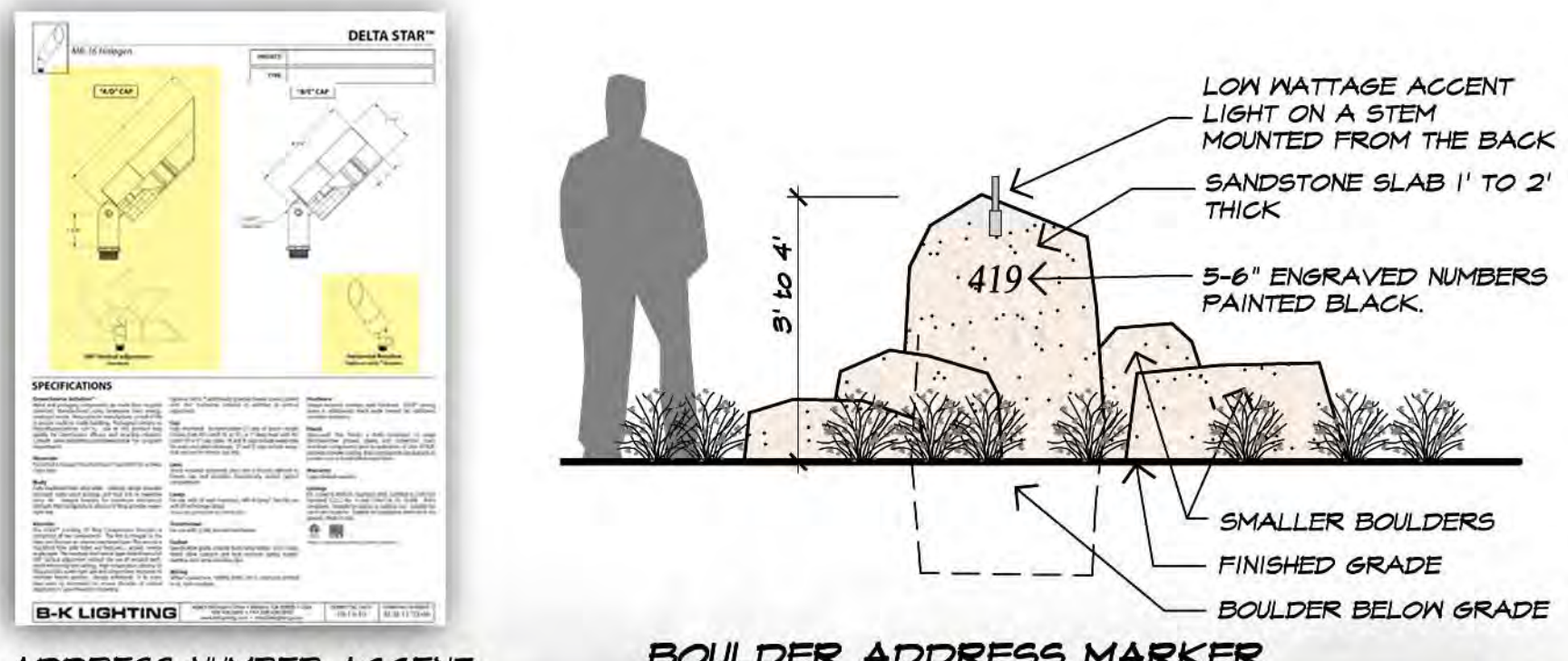
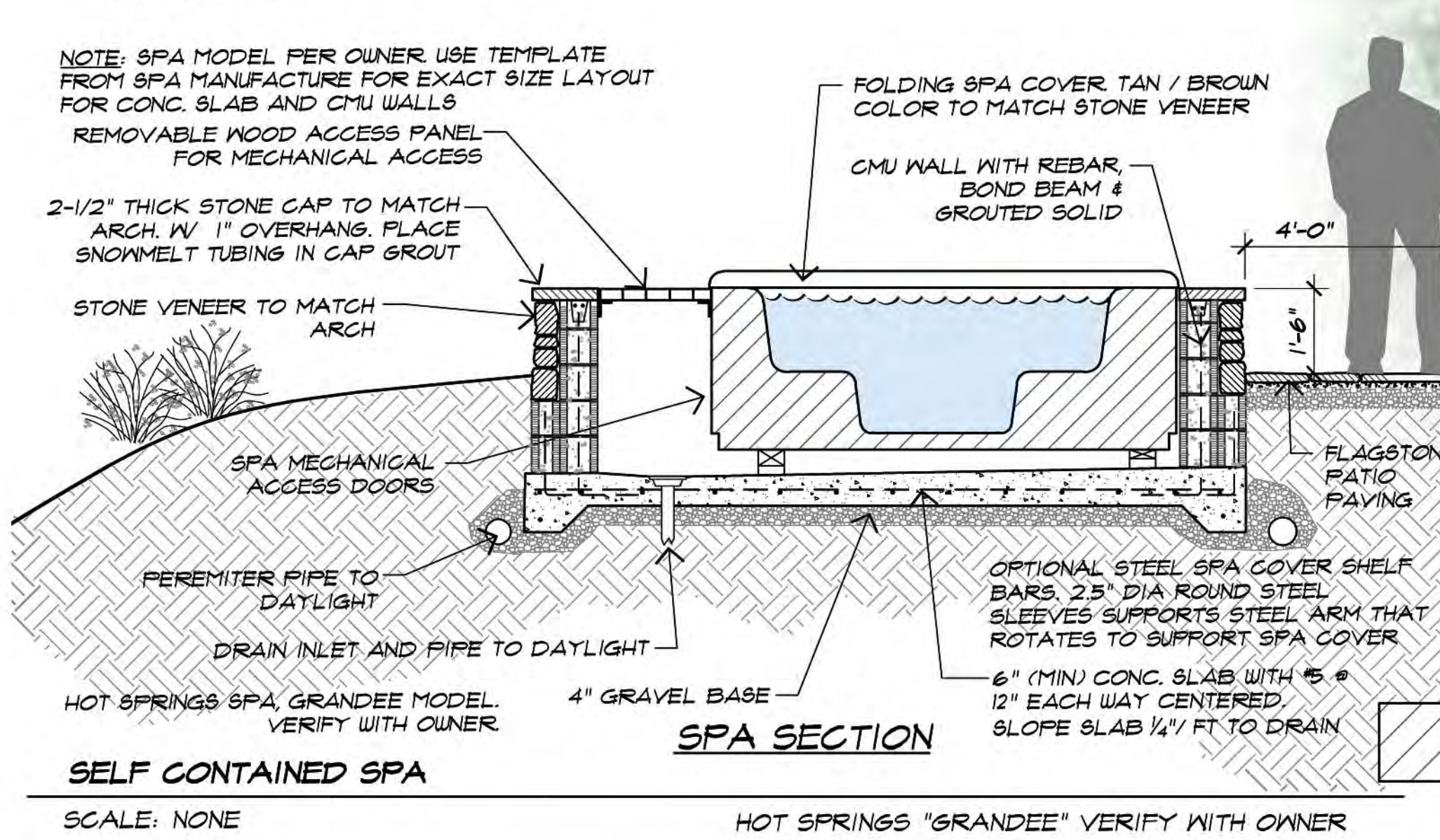
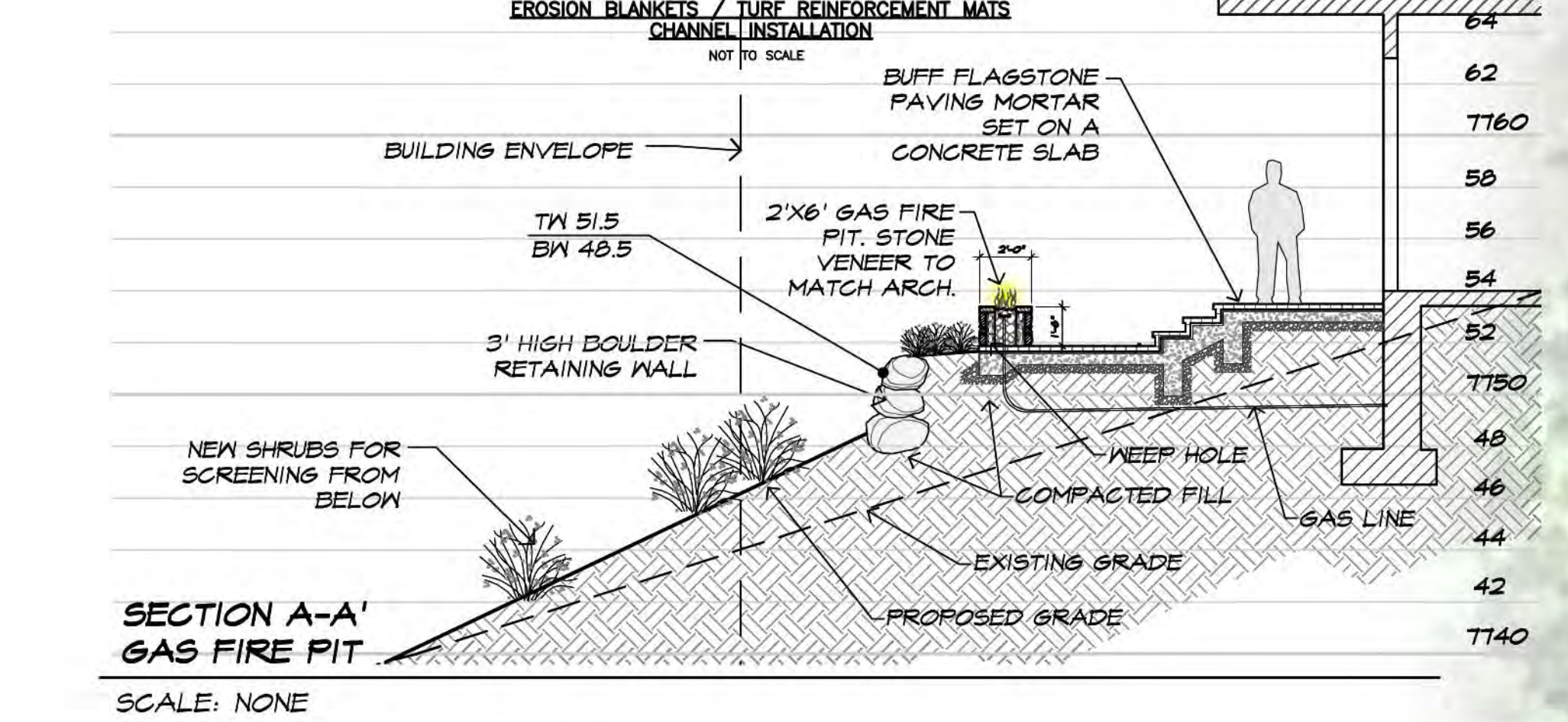
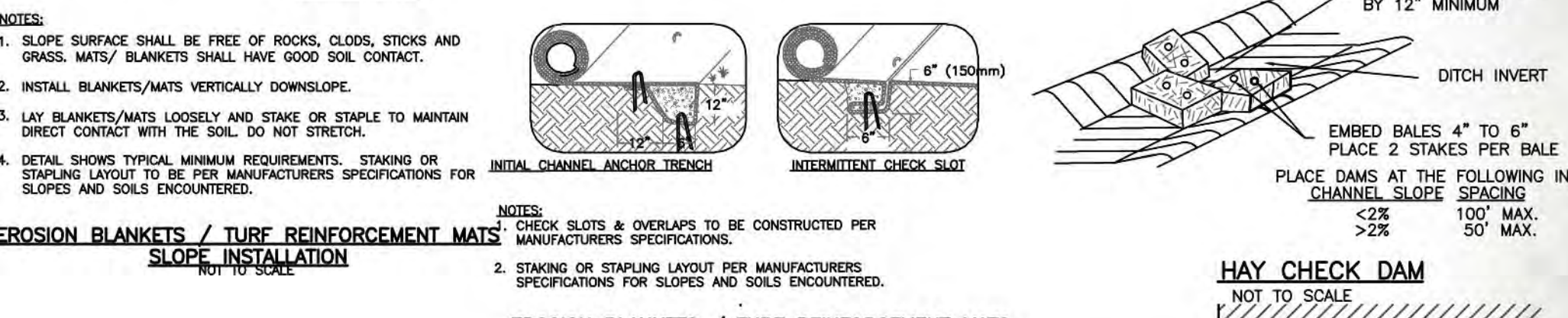
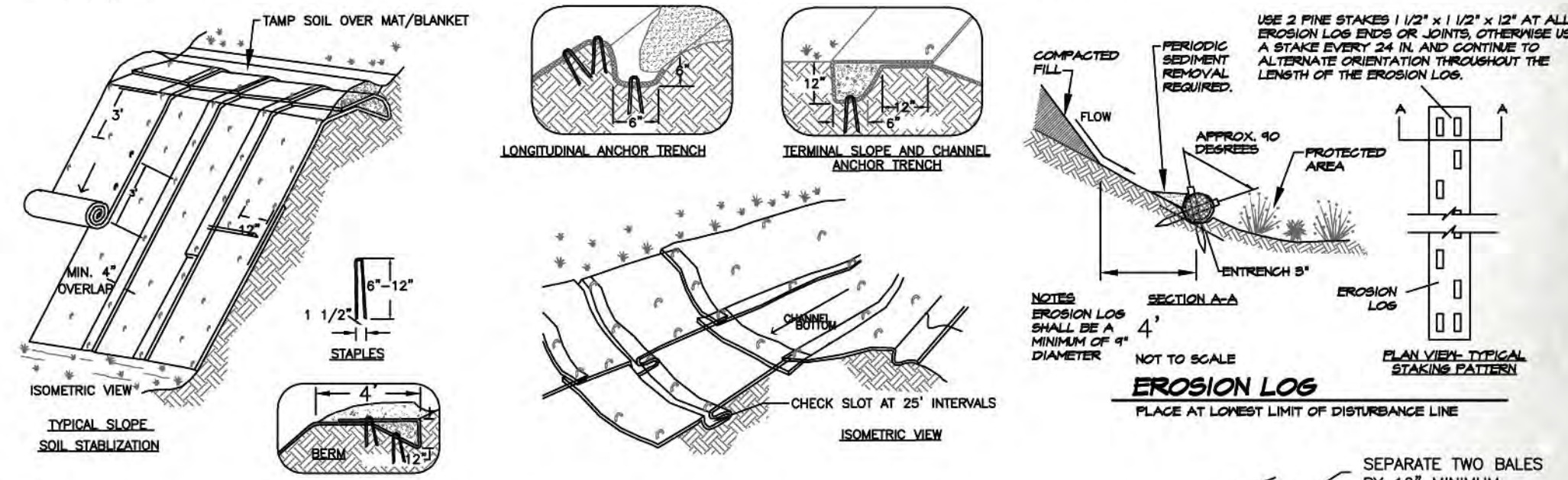
10 SCALE
LANDSCAPE
PLAN
L-1
OF 2

WILDFIRE MITIGATION NOTES:

1. Refer to the Eagle County Wildfire Hazard Rating report prepared for this property dated 04-13-22 by Katie Jenkins, Wildfire Mitigation Specialist.
2. The entire lot is to be mitigated of standing dead and dead fallen trees in accordance with the Eagle County Wildfire Mitigation guidelines. All mitigation must be completed prior to the start of construction.
3. Final Landscape Plan to be submitted to Eric Lovgren at eric.lovgren@eaglecounty.us for his review and approval prior to any landscape construction.

EROSION CONTROL and TREE PROTECTION NOTES

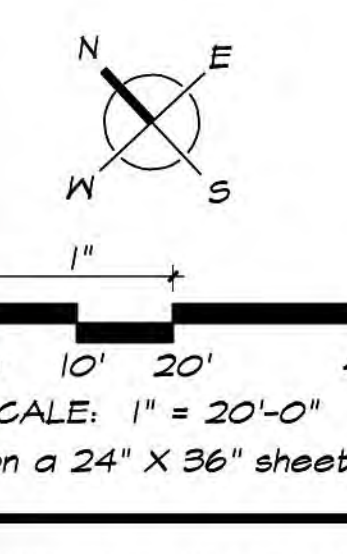
1. **SILT FENCE:** Silt and sediment shall be an Erosion Log per detail. Erect fence prior to excavation and keep in place until final grade is achieved, landscaping is installed and revegetation has become established.
2. Straw bale siltation berms shall be placed in drainage swales at intervals not to exceed 40'.
3. All 2:1 slopes shall receive the native grass seed mix covered by Excelsior erosion control fabric.
4. The Contractor shall be responsible for preventing the release of sediment laden water from the construction site and shall be required to install additional control facilities at the direction of the Owner or Inspector, should problems occur.
5. **CONSTRUCTION FENCE** be installed at the limit of disturbance and all existing trees designated to remain within the limit of disturbance. The fencing will remain throughout the entire construction period.
6. **TREE PROTECTION:** Existing trees to remain within the limit of disturbance are to be protected with a 5' high construction fence at the dripline of the tree canopy or hay bales secured to the tree trunk.



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PRIER RESIDENCE
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 EAGLE COUNTY, COLORADO

ISSUE:	DATE:
PRELIMINARY DRB	02.19.2023
FINAL DRB	03.28.2023



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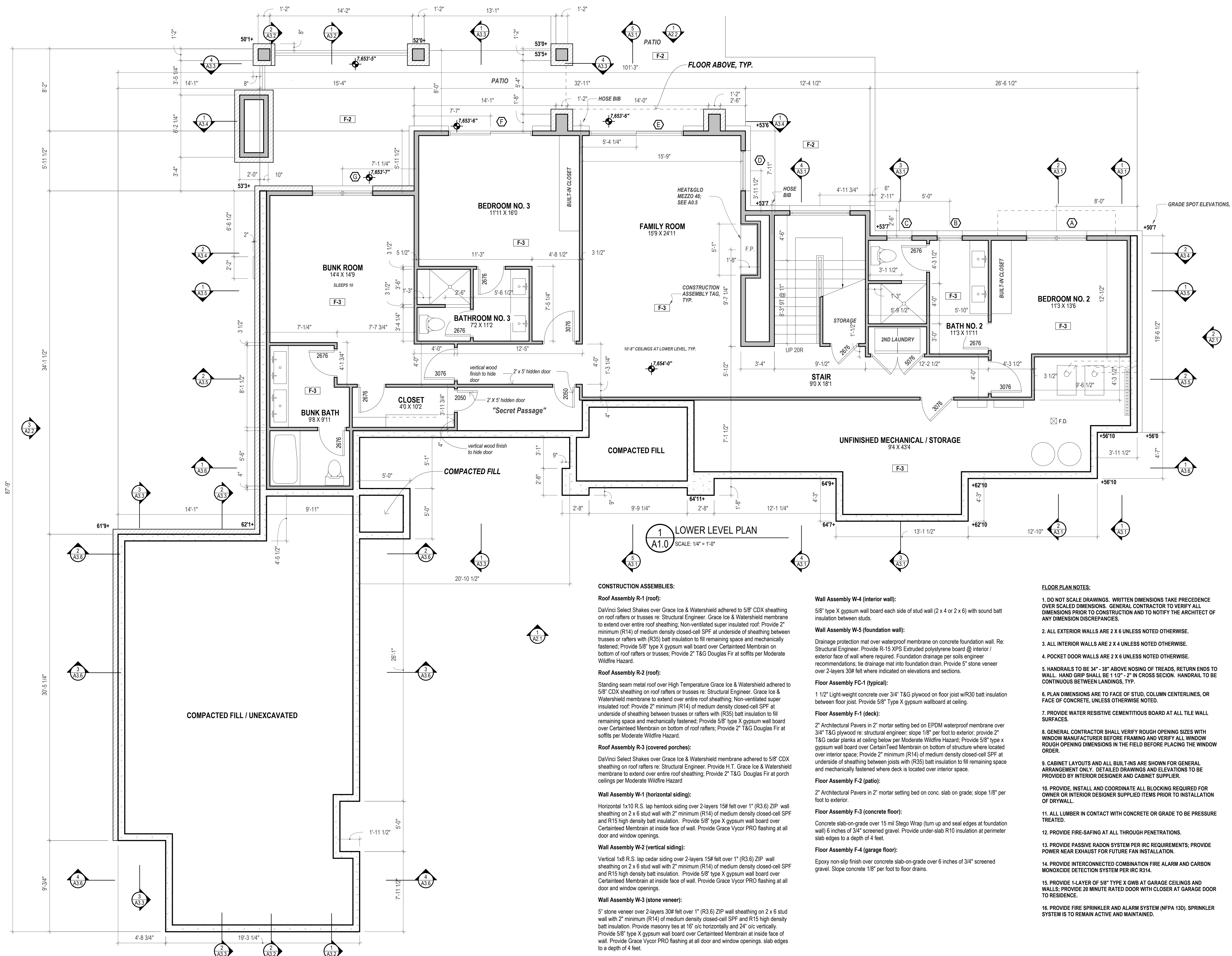
20 SCALE
 LANDSCAPE
 PLAN & DETAILS
L-2
 OF 2



TURNIPSEED

ARCHITECTURE
CONSTRUCTION
INTERIOR DESIGN
SINCE 1995

PRIER RESIDENCE
1243 RED DRAW - LOT 15, FILING 11 CORDILLERA
EAGLE COUNTY, COLORADO



CONSTRUCTION ASSEMBLIES:

Roof Assembly R-1 (roof):

DaVinci Select Shakes over Grace Ice & Watershield adhered to 5/8" CDX sheathing on roof rafters or trusses re: Structural Engineer. Grace Ice & Watershield membrane to extend over entire roof sheathing; Non-ventilated super insulated roof. Provide 2" minimum (R14) of medium density closed-cell SPF at underside of sheathing between trusses or rafters with (R35) batt insulation to fill remaining space and mechanically fastened; Provide 5/8" type X gypsum wall board over Certainteed Membrain on bottom of roof rafters or trusses; Provide 2" T&G Douglas Fir at soffits per Moderate Wildfire Hazard.

Roof Assembly R-2 (roof):

Standing seam metal roof over High Temperature Grace Ice & Watershield adhered to 5/8" CDX sheathing on roof rafters or trusses re: Structural Engineer. Grace Ice & Watershield membrane to extend over entire roof sheathing; Non-ventilated super insulated roof. Provide 2" minimum (R14) of medium density closed-cell SPF at underside of sheathing between trusses or rafters with (R35) batt insulation to fill remaining space and mechanically fastened; Provide 5/8" type X gypsum wall board over Certainteed Membrain on bottom of roof rafters; Provide 2" T&G Douglas Fir at soffits per Moderate Wildfire Hazard.

Roof Assembly R-3 (covered porches):

DaVinci Select Shakes over Grace Ice & Watershield membrane adhered to 5/8" CDX sheathing on roof rafters re: Structural Engineer. Provide H.T. Grace Ice & Watershield membrane to extend over entire roof sheathing; Provide 2" T&G Douglas Fir at porch ceilings per Moderate Wildfire Hazard

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Horizontal 1x10 R.S. lap hemlock siding over 2-layers 15# felt over 1" (R3.6) ZIP wall sheathing on 2 x 6 stud wall with 2" minimum (R14) of medium density closed-cell SPF and R15 high density batt insulation. Provide 5/8" type X gypsum wall board over Certainteed Membrain at inside face of wall. Provide Grace Vycor PRO flashing at all door and window openings.

Wall Assembly W-2 (vertical siding):

Vertical 1x8 R.S. lap cedar siding over 2-layers 15# felt over 1" (R3.6) ZIP wall sheathing on 2 x 6 stud wall with 2" minimum (R14) of medium density closed-cell SPF and R15 high density batt insulation. Provide 5/8" type X gypsum wall board over Certainteed Membrain at inside face of wall. Provide Grace Vycor PRO flashing at all door and window openings.

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5" stone veneer over 2-layers 30# felt over 1" (R3.6) ZIP wall sheathing on 2 x 6 stud wall with 2" minimum (R14) of medium density closed-cell SPF and R15 high density batt insulation. Provide masonry ties at 16" o/c horizontally and 24" o/c vertically. Provide 5/8" type X gypsum wall board over Certainteed Membrain at inside face of wall. Provide Grace Vycor PRO flashing at all door and window openings. slab edges to a depth of 4 feet.

Wall Assembly W-4 (interior wall):

5/8" type X gypsum wall board each side of stud wall (2 x 4 or 2 x 6) with sound batt insulation between studs.

Wall Assembly W-5 (foundation wall):

Drainage protection mat over waterproof membrane on concrete foundation wall. Re: Structural Engineer. Provide R-15 XPS Extruded polystyrene board @ interior / exterior face of wall where required. Foundation drainage per soils engineer recommendations; lie drainage mat into foundation drain. Provide 5" stone veneer over 2-layers 30# felt where indicated on elevations and sections.

Floor Assembly FC-1 (typical):

1 1/2" Light-weight concrete over 3/4" T&G plywood on floor joist w/R30 batt insulation between floor joist. Provide 5/8" Type X gypsum wallboard at ceiling.

Floor Assembly F-1 (deck):

2" Architectural Pavers in 2" mortar setting bed on EPDM waterproof membrane over 3/4" T&G plywood re: structural engineer; slope 1/8" per foot to exterior; provide 2" T&G cedar planks at ceiling below per Moderate Wildfire Hazard; Provide 5/8" type X gypsum wall board over Certainteed Membrain on bottom of structure where located over interior space; Provide 2" minimum (R14) of medium density closed-cell SPF at underside of sheathing between joists with (R35) batt insulation to fill remaining space and mechanically fastened where deck is located over interior space.

Floor Assembly F-2 (patio):

2" Architectural Pavers in 2" mortar setting bed on conc. slab on grade; slope 1/8" per foot to exterior.

Floor Assembly F-3 (concrete floor):

Concrete slab-on-grade over 15 mil Stego Wrap (turn up and seal edges at foundation wall) 6 inches of 3/4" screened gravel. Provide under-slab R10 insulation at perimeter slab edges to a depth of 4 feet.

Floor Assembly F-4 (garage floor):

Epoxy non-slip finish over concrete slab-on-grade over 6 inches of 3/4" screened gravel. Slope concrete 1/8" per foot to floor drains.

FLOOR PLAN NOTES:

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND TO NOTIFY THE ARCHITECT OF ANY DIMENSION DISCREPANCIES.
- ALL EXTERIOR WALLS ARE 2 X 6 UNLESS NOTED OTHERWISE.
- ALL INTERIOR WALLS ARE 2 X 4 UNLESS NOTED OTHERWISE.
- POCKET DOOR WALLS ARE 2 X 6 UNLESS NOTED OTHERWISE.
- HANDRAILS TO BE 34" - 38" ABOVE NOSING OF TREADS, RETURN ENDS TO WALL. HAND GRIP SHALL BE 1 1/2" - 2" IN CROSS SECTION. HANDRAIL TO BE CONTINUOUS BETWEEN LANDINGS, TYP.
- PLAN DIMENSIONS ARE TO FACE OF STUD, COLUMN CENTERLINES, OR FACE OF CONCRETE, UNLESS OTHERWISE NOTED.
- PROVIDE WATER RESISTIVE CEMENTITIOUS BOARD AT ALL TILE WALL SURFACES.
- GENERAL CONTRACTOR SHALL VERIFY ROUGH OPENING SIZES WITH WINDOW MANUFACTURER BEFORE FRAMING AND VERIFY ALL WINDOW ROUGH OPENING DIMENSIONS IN THE FIELD BEFORE PLACING THE WINDOW ORDER.
- CABINET LAYOUTS AND ALL BUILT-INS ARE SHOWN FOR GENERAL ARRANGEMENT ONLY. DETAILED DRAWINGS AND ELEVATIONS TO BE PROVIDED BY INTERIOR DESIGNER AND CABINET SUPPLIER.
- PROVIDE, INSTALL AND COORDINATE ALL BLOCKING REQUIRED FOR OWNER OR INTERIOR DESIGNER SUPPLIED ITEMS PRIOR TO INSTALLATION OF DRYWALL.
- ALL LUMBER IN CONTACT WITH CONCRETE OR GRADE TO BE PRESSURE TREATED.
- PROVIDE FIRE-SAFING AT ALL THROUGH PENETRATIONS.
- PROVIDE PASSIVE RADON SYSTEM PER IRC REQUIREMENTS; PROVIDE POWER NEAR EXHAUST FOR FUTURE FAN INSTALLATION.
- PROVIDE INTERCONNECTED COMBINATION FIRE ALARM AND CARBON MONOXIDE DETECTION SYSTEM PER IRC R314.
- PROVIDE 1-LAYER OF 5/8" TYPE X GWB AT GARAGE CEILINGS AND WALLS; PROVIDE 20 MINUTE RATED DOOR WITH CLOSER AT GARAGE DOOR TO RESIDENCE.
- PROVIDE FIRE SPRINKLER AND ALARM SYSTEM (NFPA 13D). SPRINKLER SYSTEM IS TO REMAIN ACTIVE AND MAINTAINED.

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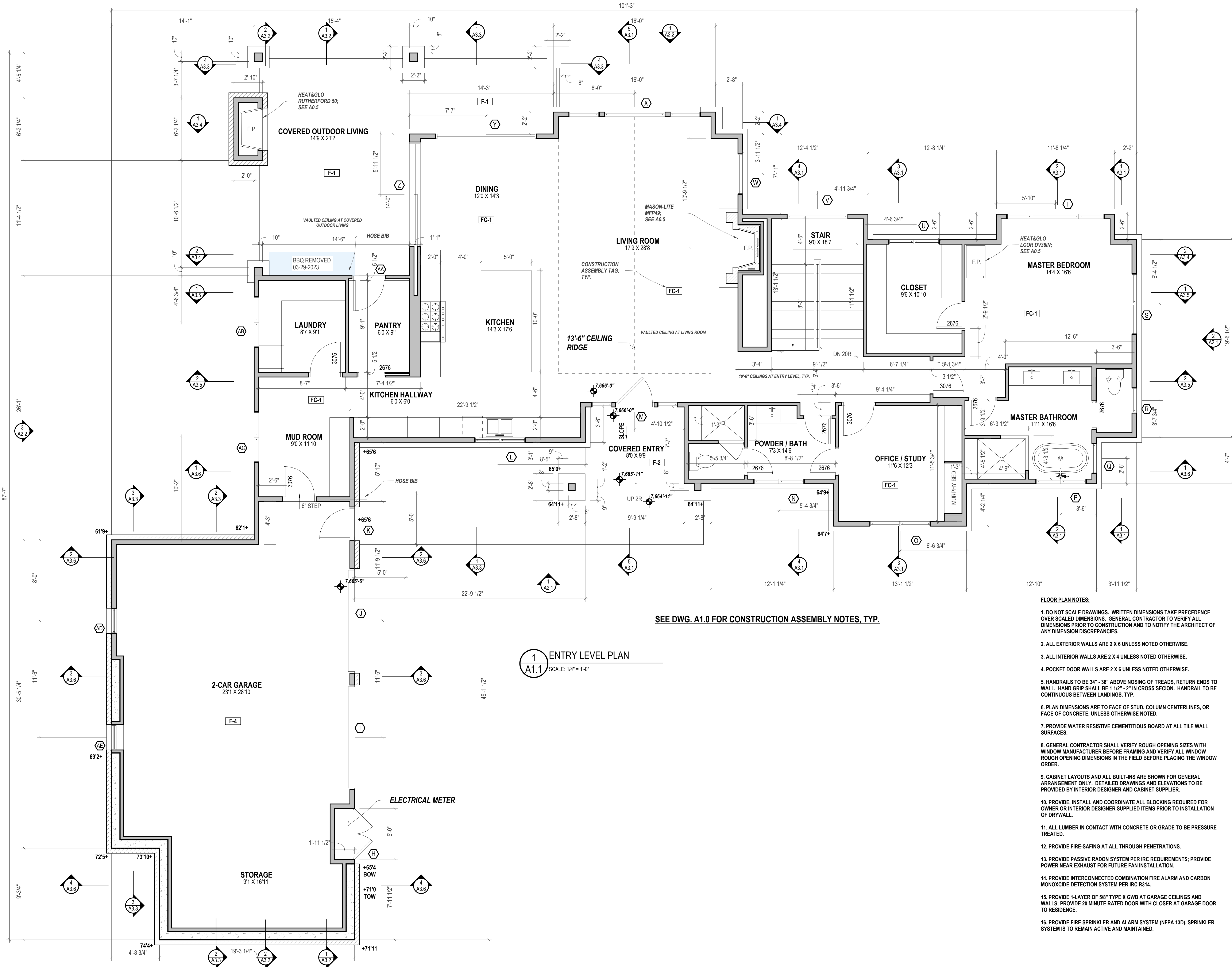
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A1.0
LOWER LEVEL
PLAN



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EAGLE COUNTY, COLORADO



1 ENTRY LEVEL PLAN
A1.1 SCALE: 1/4" = 1'-0"

SEE DWG. A1.0 FOR CONSTRUCTION ASSEMBLY NOTES, TYP.

FLOOR PLAN NOTES:

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A1.1
ENTRY LEVEL
PLAN



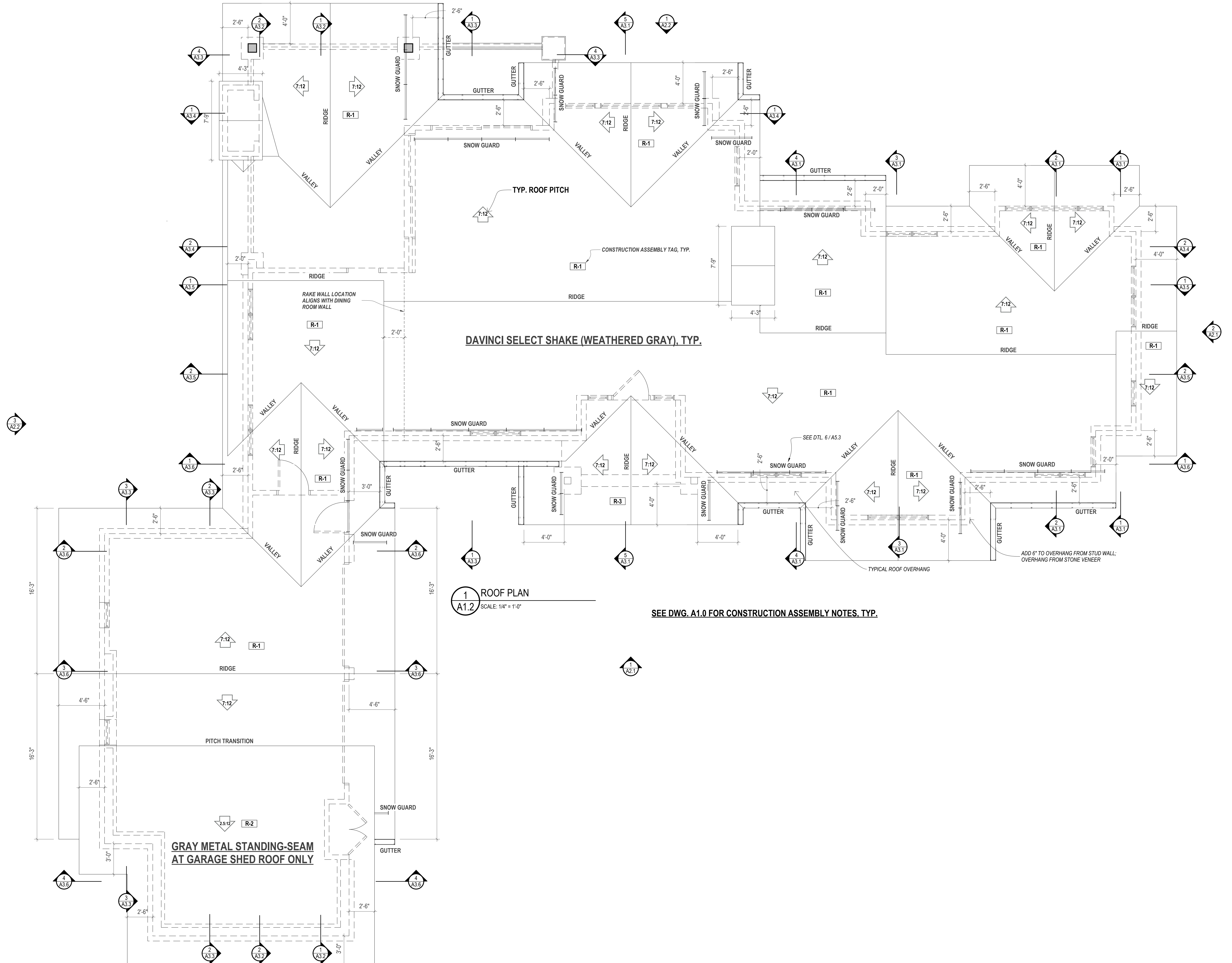
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A1.2
 ROOF PLAN





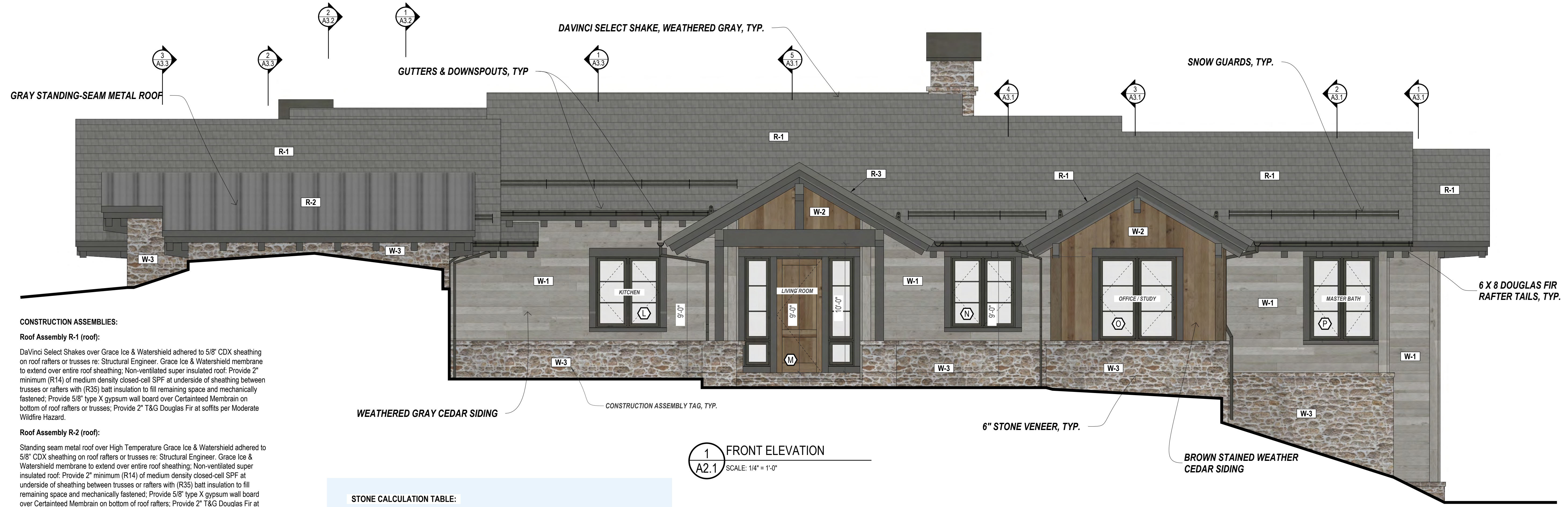
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A2.1
FRONT AND RIGHT ELEVATIONS



CONSTRUCTION ASSEMBLIES:

Roof Assembly R-1 (roof):

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Floor Assembly F-2 (patio):

2" Architectural Pavers in 2" mortar setting bed on conc. slab on grade; slope 1/8" per foot to exterior.

Floor Assembly F-3 (concrete floor):

Concrete slab-on-grade over 15 mil Stego Wrap (turn up and seal edges at foundation wall) 6 inches of 3/4" screened gravel. Provide under-slab R10 insulation at perimeter slab edges to a depth of 4 feet.

Floor Assembly F-4 (garage floor):

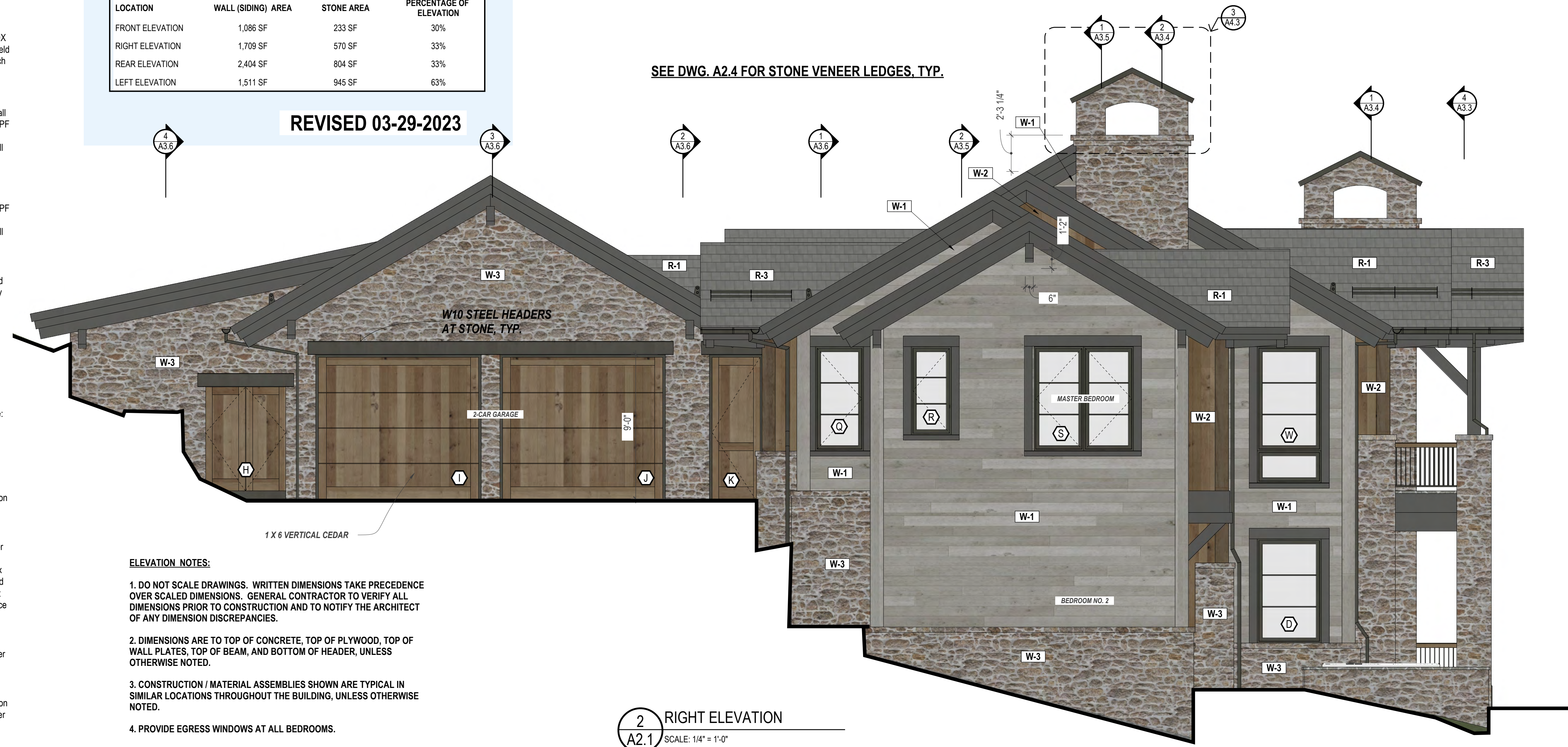
Epoxy non-slip finish over concrete slab-on-grade over 6 inches of 3/4" screened gravel. Slope concrete 1/8" per foot to floor drains.

STONE CALCULATION TABLE:

LOCATION	WALL (SIDING) AREA	STONE AREA	PERCENTAGE OF ELEVATION
FRONT ELEVATION	1,086 SF	233 SF	30%
RIGHT ELEVATION	1,709 SF	570 SF	33%
REAR ELEVATION	2,404 SF	804 SF	33%
LEFT ELEVATION	1,511 SF	945 SF	63%

1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

SEE DWG. A2.4 FOR STONE VENEER LEDGES, TYP.



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND TO NOTIFY THE ARCHITECT OF ANY DIMENSION DISCREPANCIES.
- DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, TOP OF WALL PLATES, TOP OF BEAM, AND BOTTOM OF HEADER, UNLESS OTHERWISE NOTED.
- CONSTRUCTION / MATERIAL ASSEMBLIES SHOWN ARE TYPICAL IN SIMILAR LOCATIONS THROUGHOUT THE BUILDING, UNLESS OTHERWISE NOTED.
- PROVIDE EGRESS WINDOWS AT ALL BEDROOMS.
- PROVIDE SAFETY GLAZING AT ALL REQUIRED LOCATIONS.



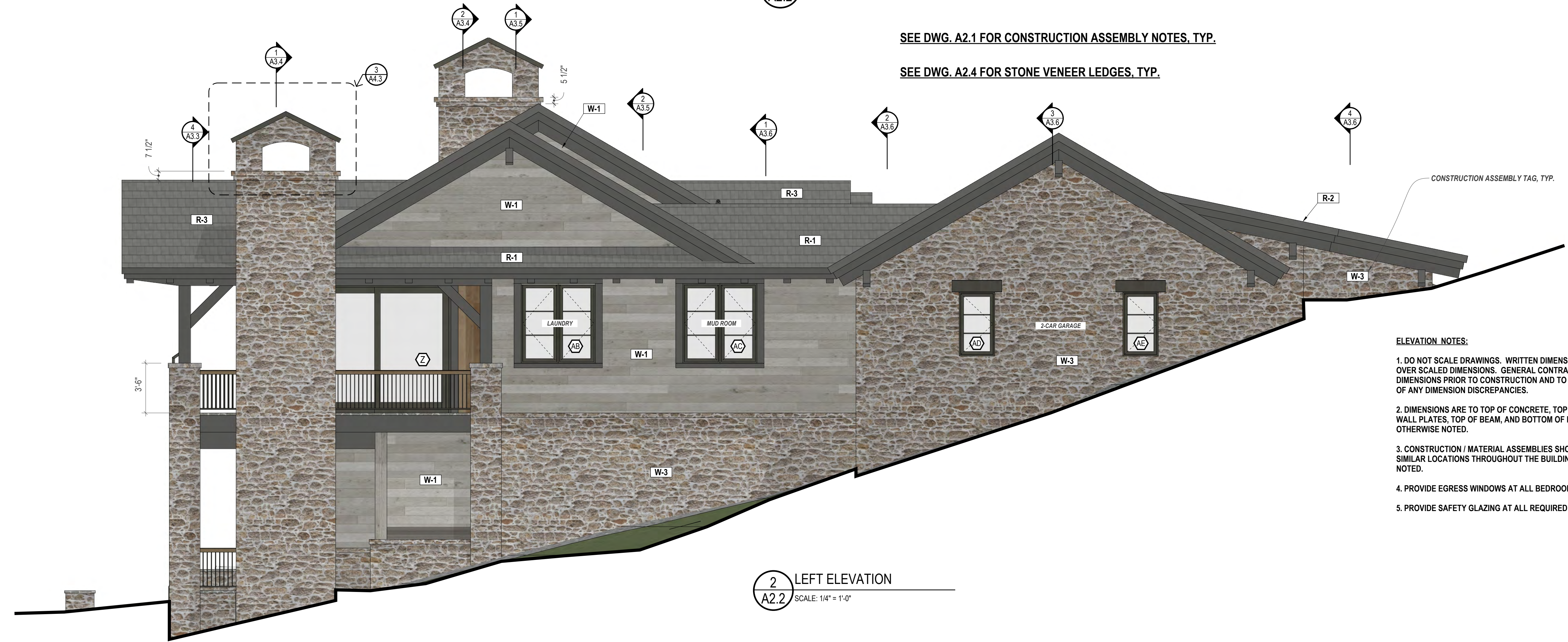
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1 REAR ELEVATION
 A2.2 SCALE: 1/4" = 1'-0"

SEE DWG. A2.1 FOR CONSTRUCTION ASSEMBLY NOTES, TYP.
 SEE DWG. A2.4 FOR STONE VENEER LEDGES, TYP.



2 LEFT ELEVATION
 A2.2 SCALE: 1/4" = 1'-0"

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 4. PROVIDE EGRESS WINDOWS AT ALL BEDROOMS.
 5. PROVIDE SAFETY GLAZING AT ALL REQUIRED LOCATIONS.

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A2.2
 REAR AND LEFT
 ELEVATIONS



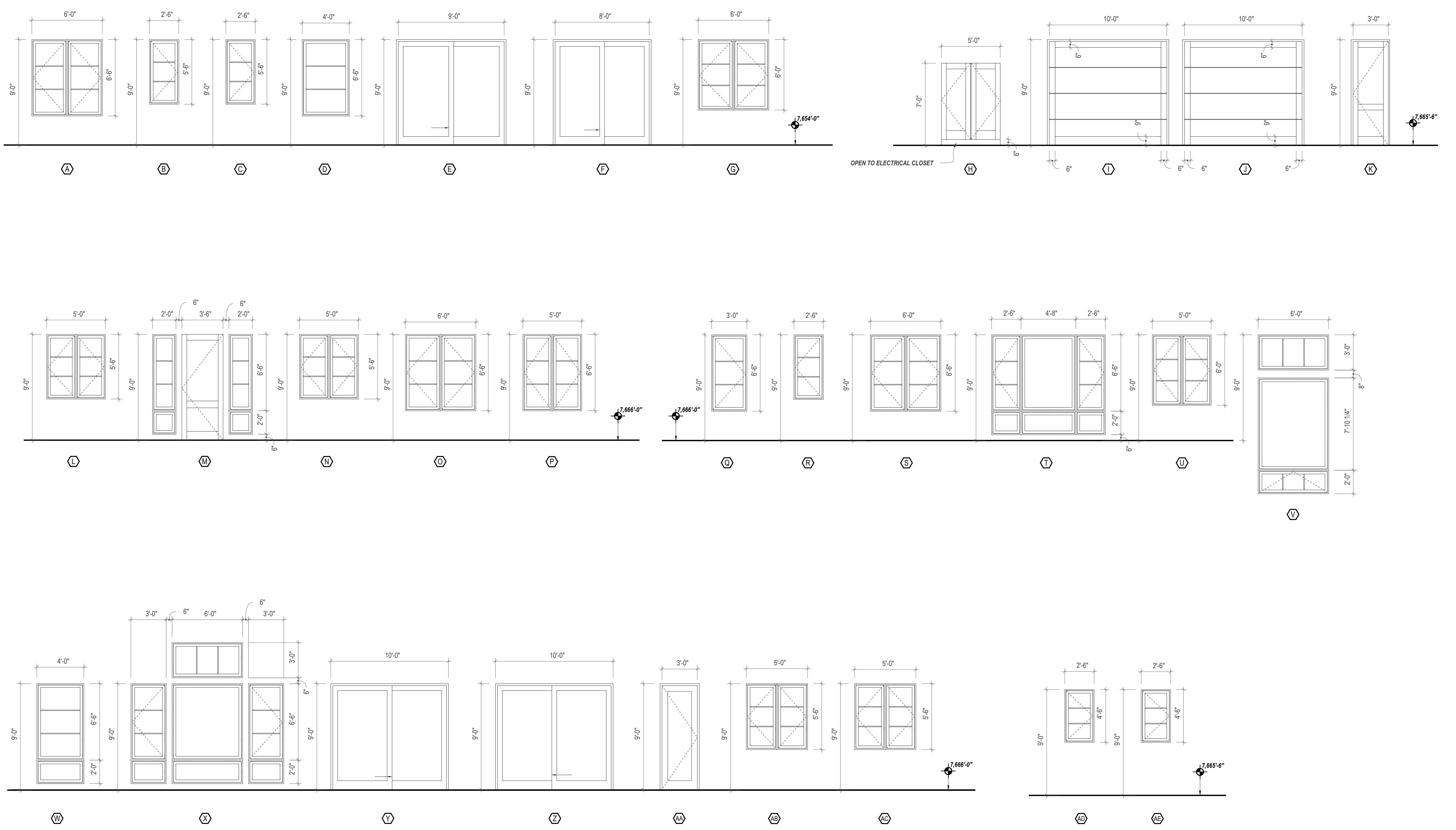
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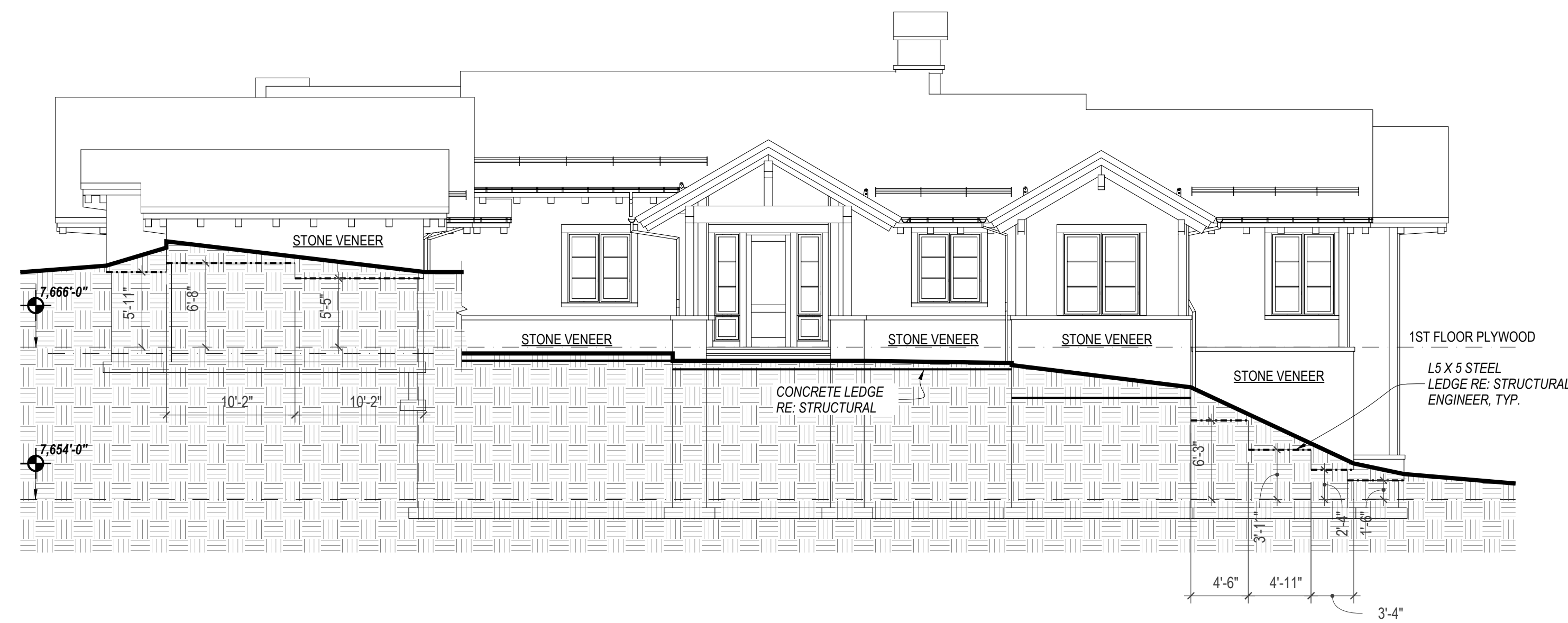
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A2.3
WINDOW AND EXT.
DOOR SCHEDULE

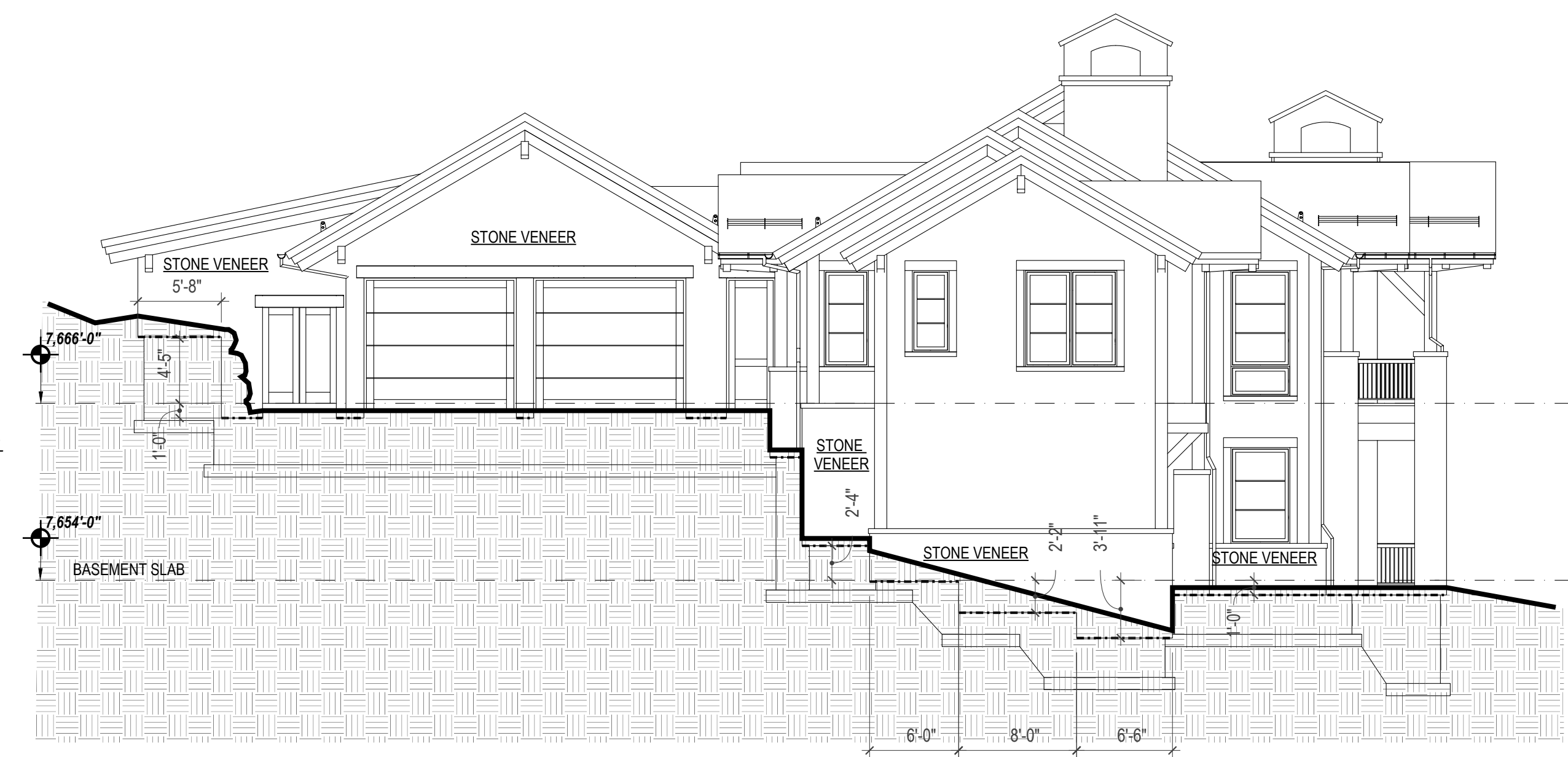


1 WINDOW / EXT. DOOR SCHEDULE
A2.3 SCALE: 1/4" = 1'-0"

JUNE 8, 2023



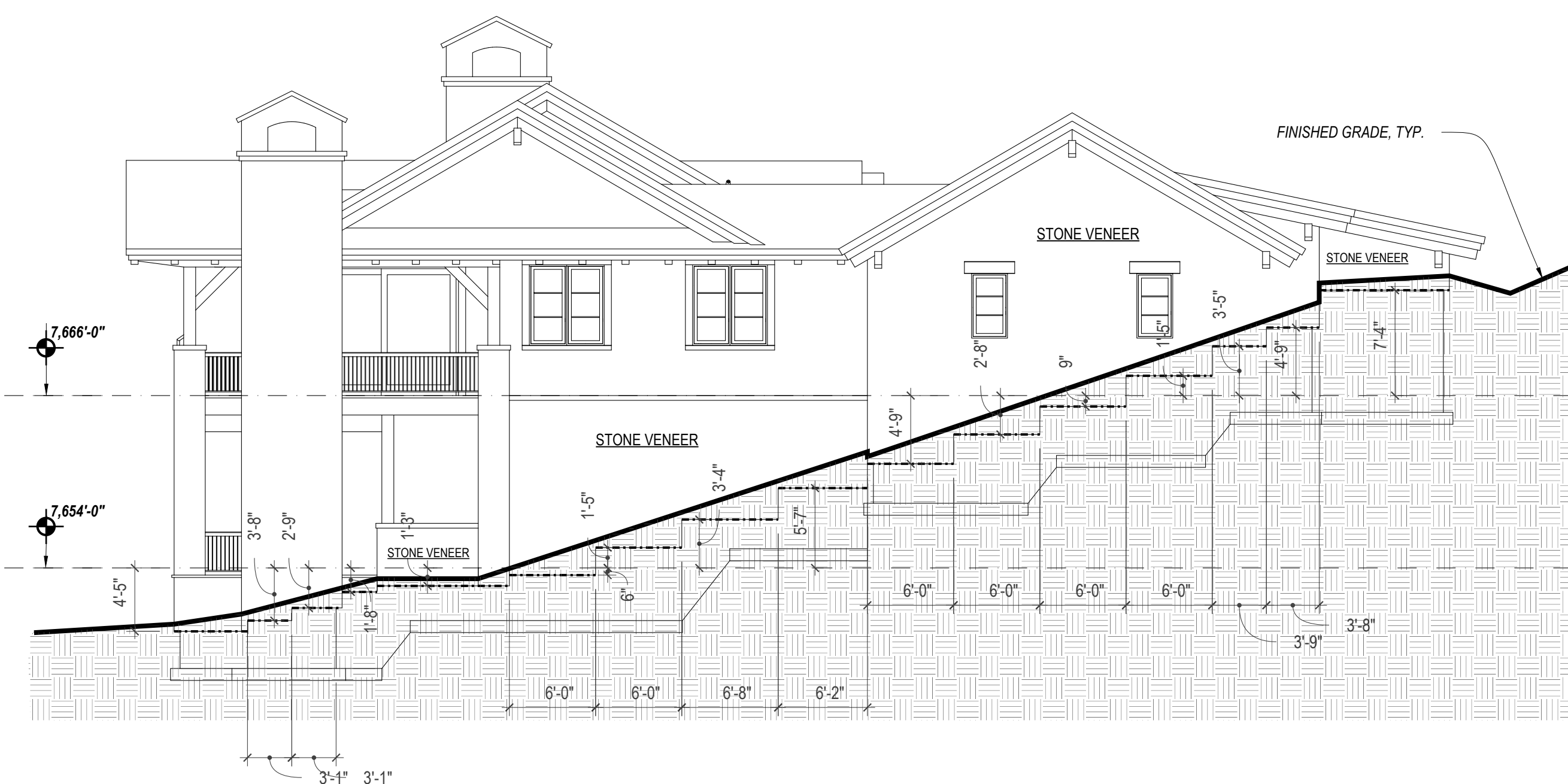
1 FRONT ELEVATION
A2.4 SCALE: 1/8" = 1'-0"



2 RIGHT ELEVATION
A2.4 SCALE: 1/8" = 1'-0"



3 REAR ELEVATION
A2.4 SCALE: 1/8" = 1'-0"



4 LEFT ELEVATION
A2.4 SCALE: 1/8" = 1'-0"

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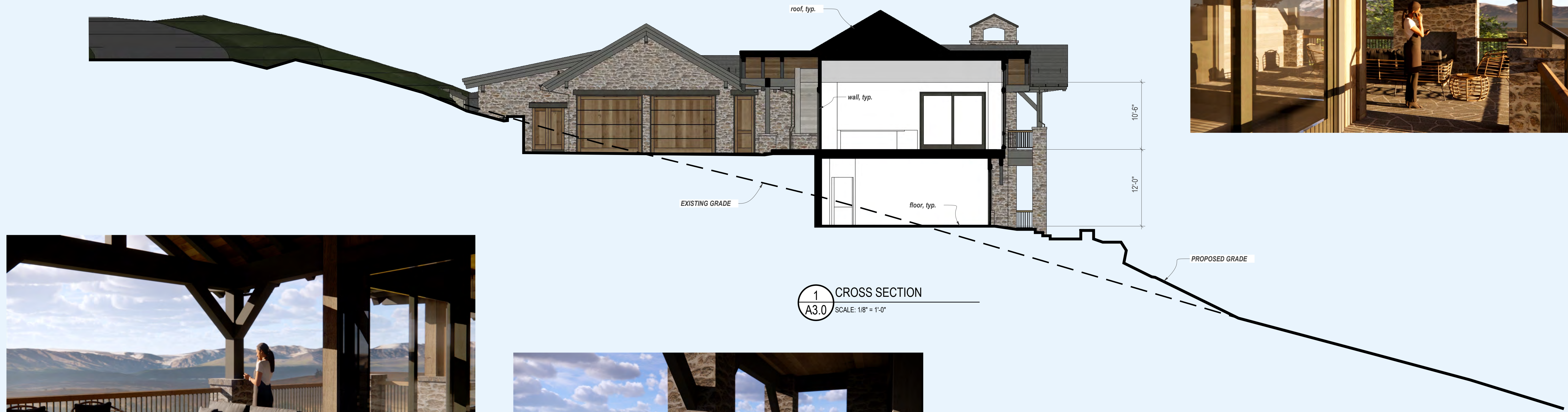
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 EAGLE COUNTY, COLORADO

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A3.0
 SITE SECTIONS



1 CROSS SECTION
 A3.0 SCALE: 1/8" = 1'-0"



2 LATERAL SECTION
 A3.0 SCALE: 1/8" = 1'-0"



PAGE REVISED 03-29-2023



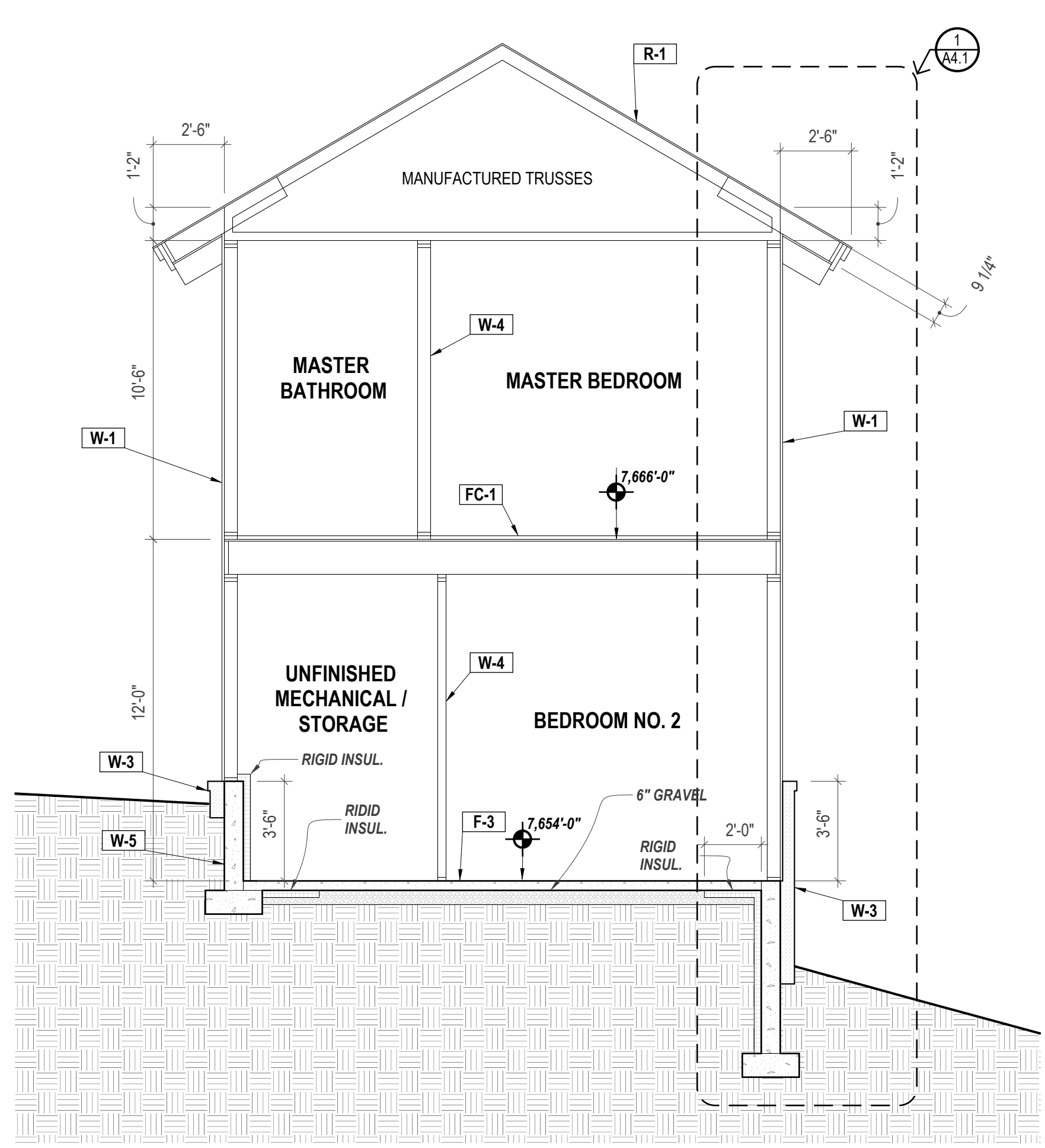
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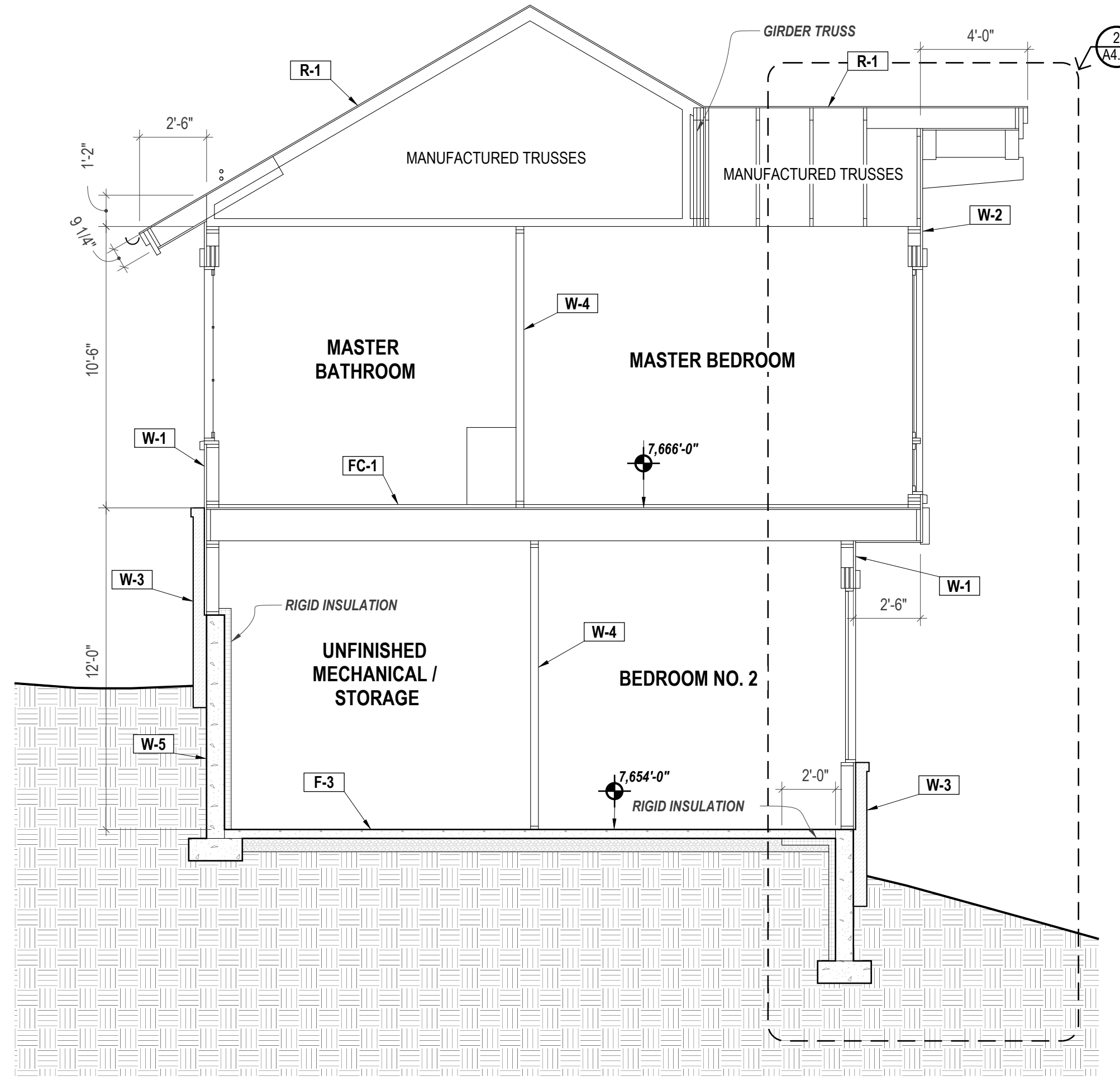
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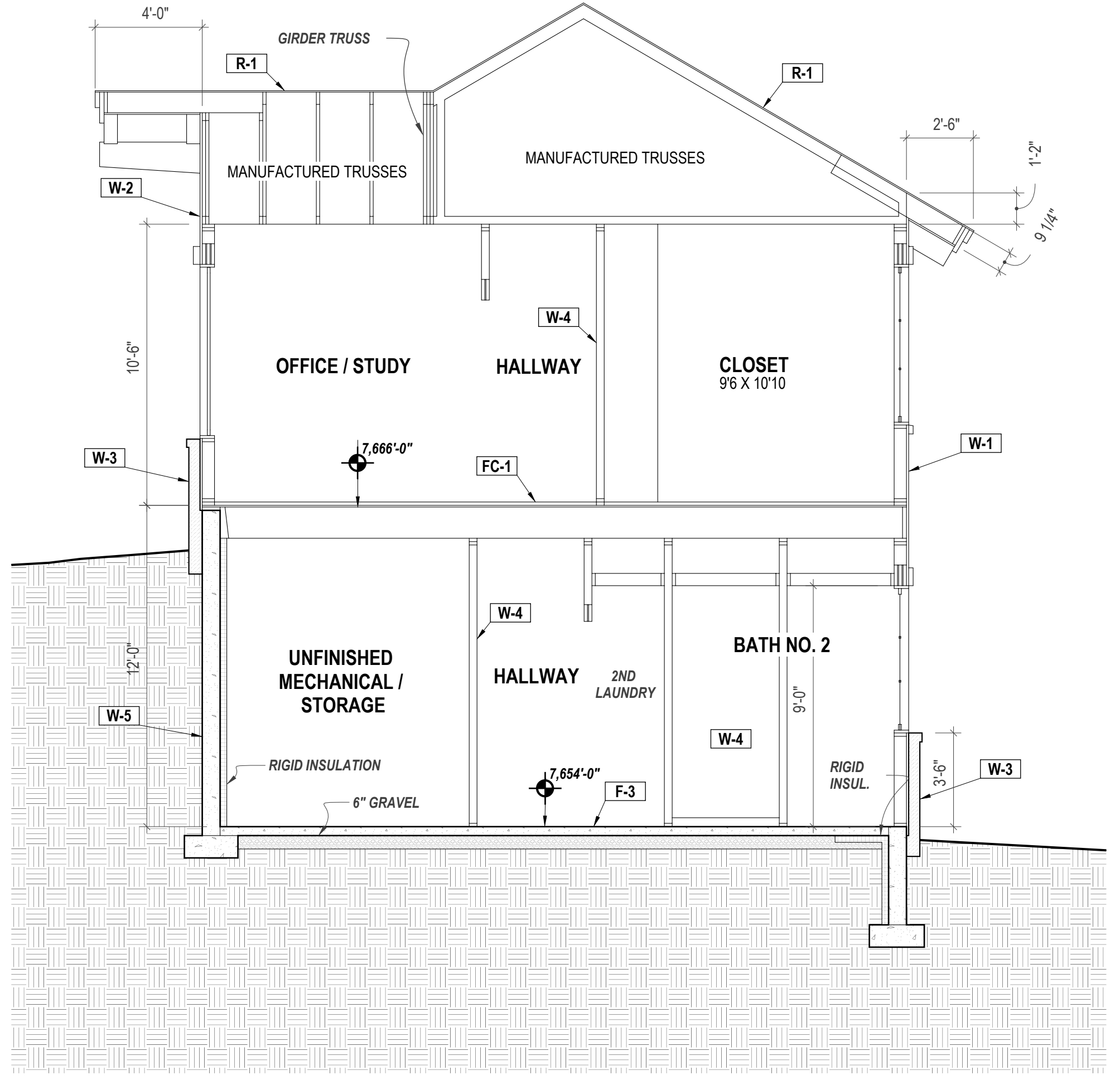
A3.1
 BUILDING SECTIONS



1 BUILDING SECTION
 A3.1 SCALE: 1/4" = 1'-0"

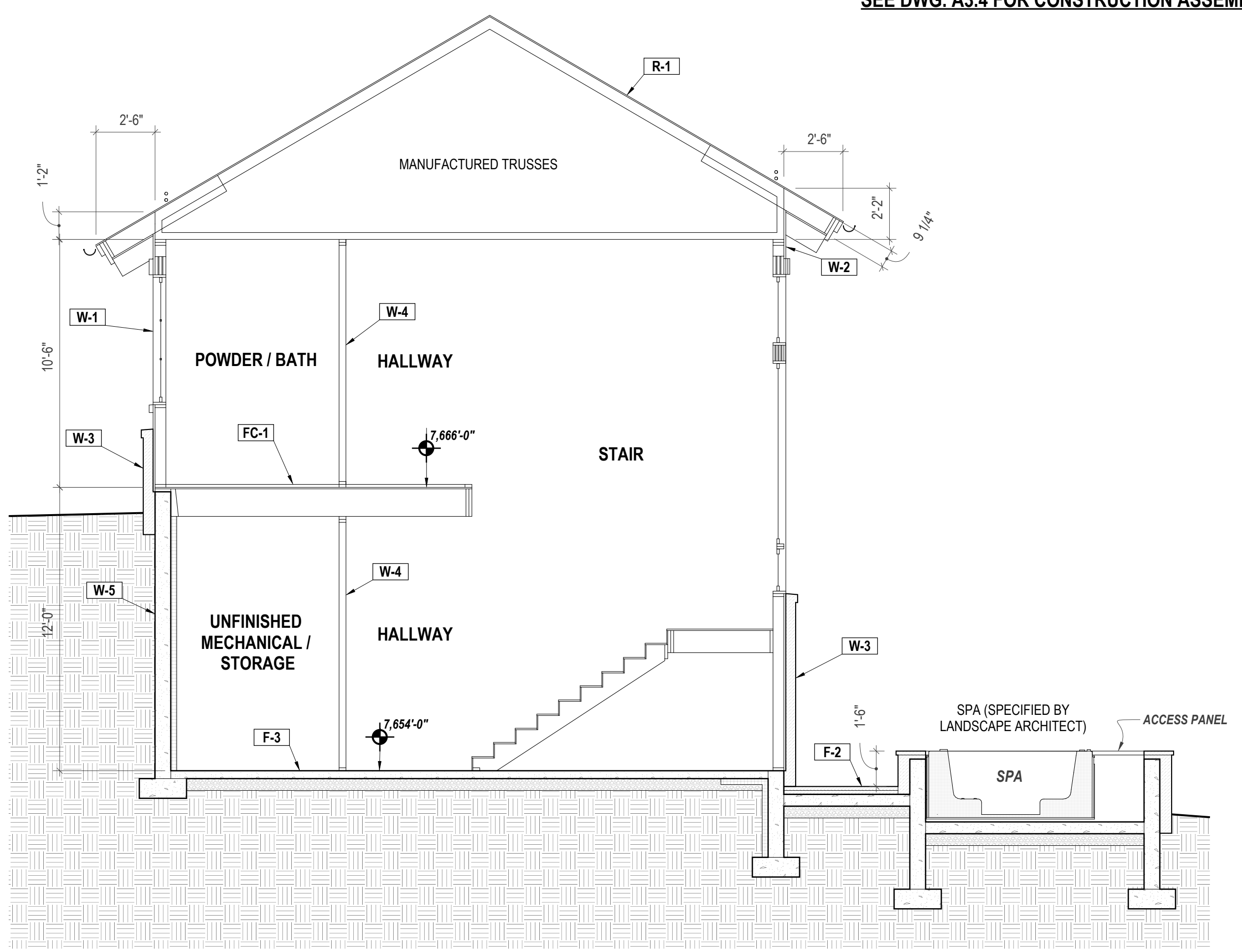


2 BUILDING SECTION
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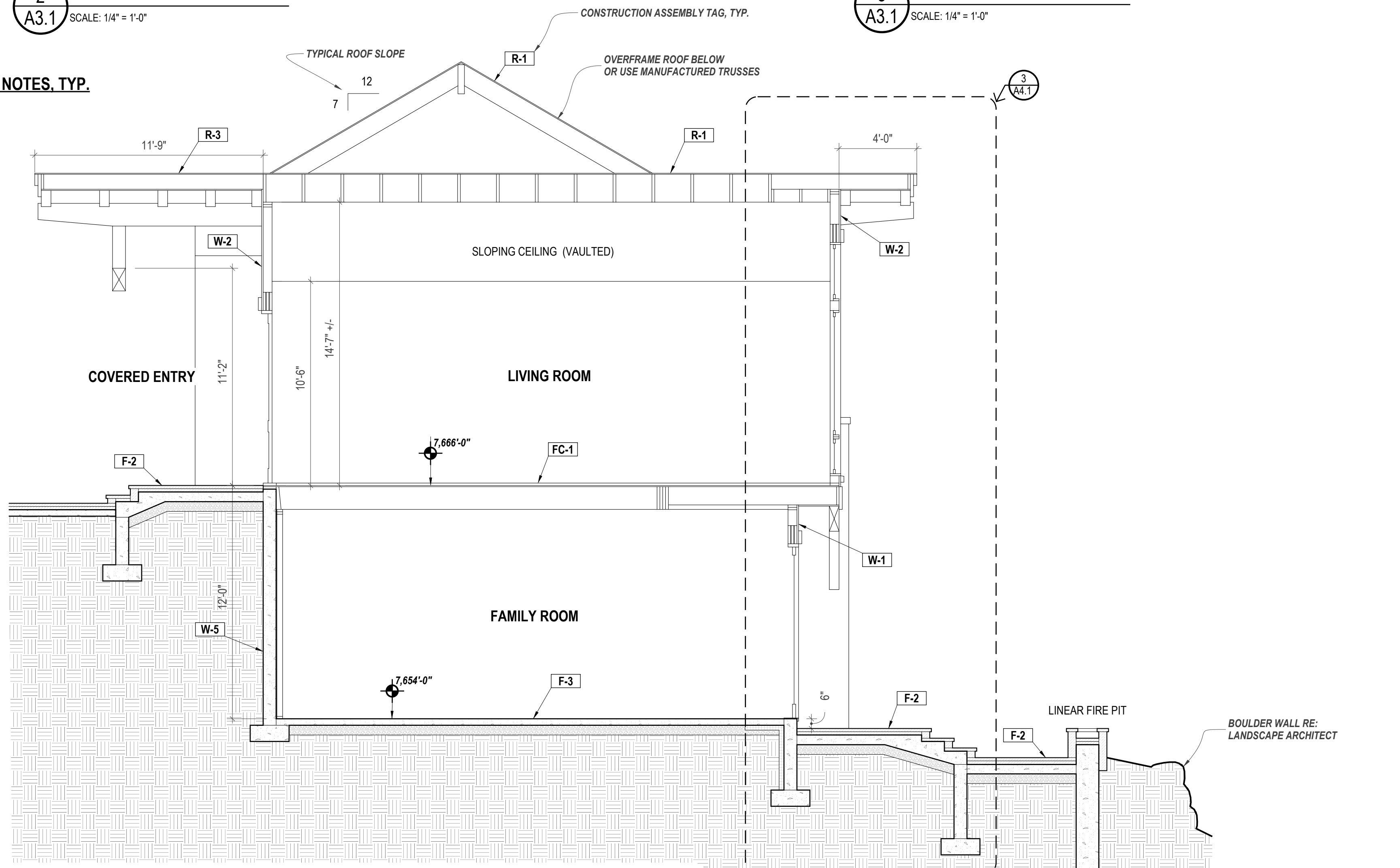


3 BUILDING SECTION
 A3.1 SCALE: 1/4" = 1'-0"

SEE DWG. A3.4 FOR CONSTRUCTION ASSEMBLY NOTES, TYP.



4 BUILDING SECTION
 A3.1 SCALE: 1/4" = 1'-0"



5 BUILDING SECTION
 A3.1 SCALE: 1/4" = 1'-0"

PROVIDE LOWER FOOTING
 DUE TO PROXIMITY OF
 BOULDER WALL



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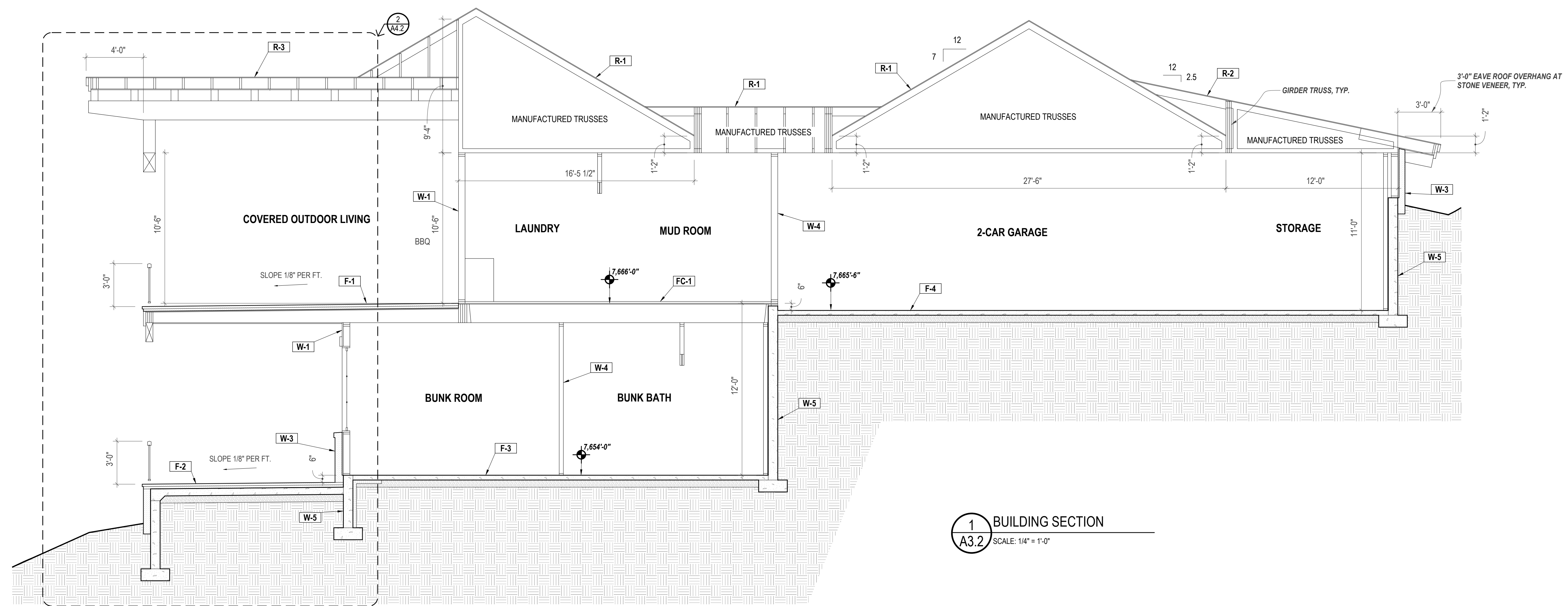
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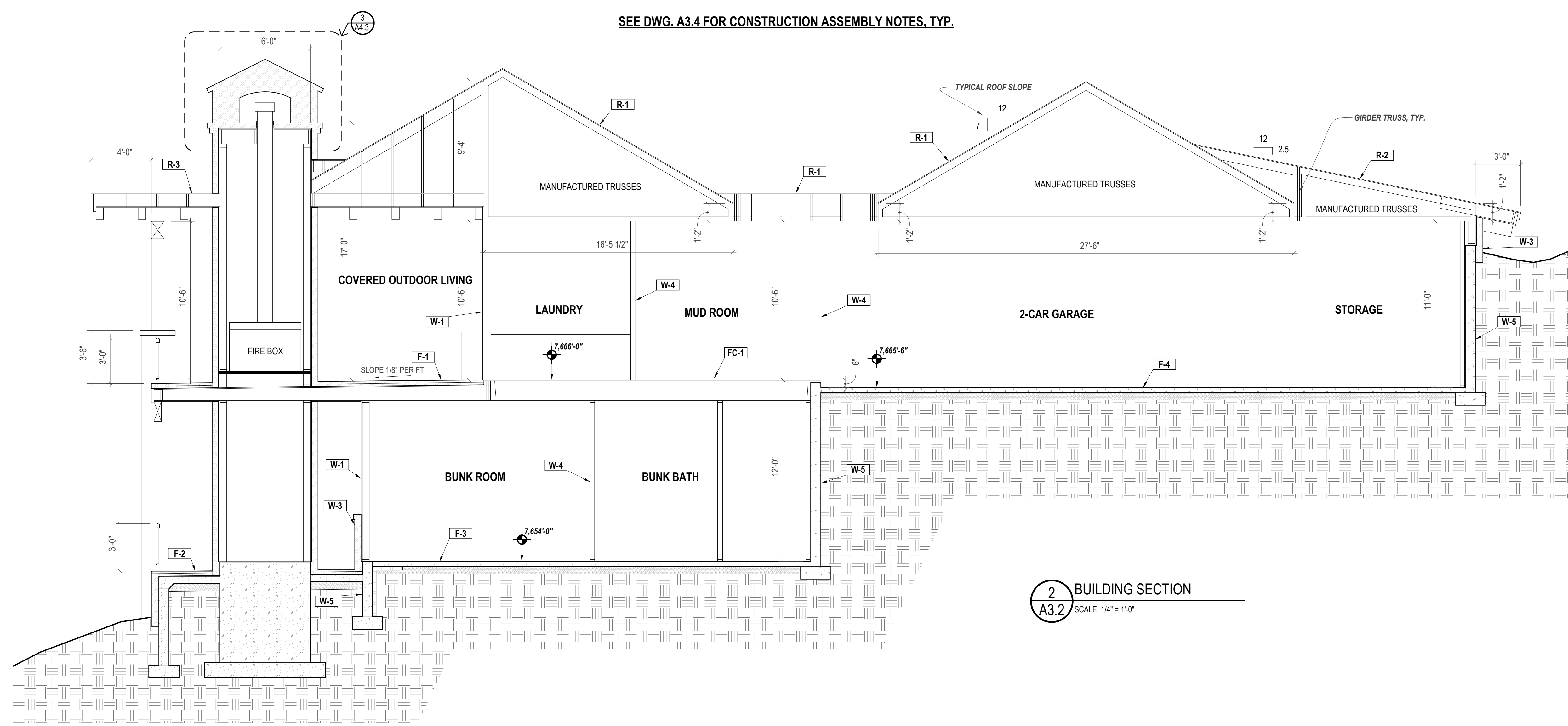
A3.2
 BUILDING SECTIONS

JUNE 8, 2023



1 BUILDING SECTION
A3.2 SCALE: 1/4" = 1'-0"

SEE DWG. A3.4 FOR CONSTRUCTION ASSEMBLY NOTES, TYP.



2 BUILDING SECTION
A3.2 SCALE: 1/4" = 1'-0"



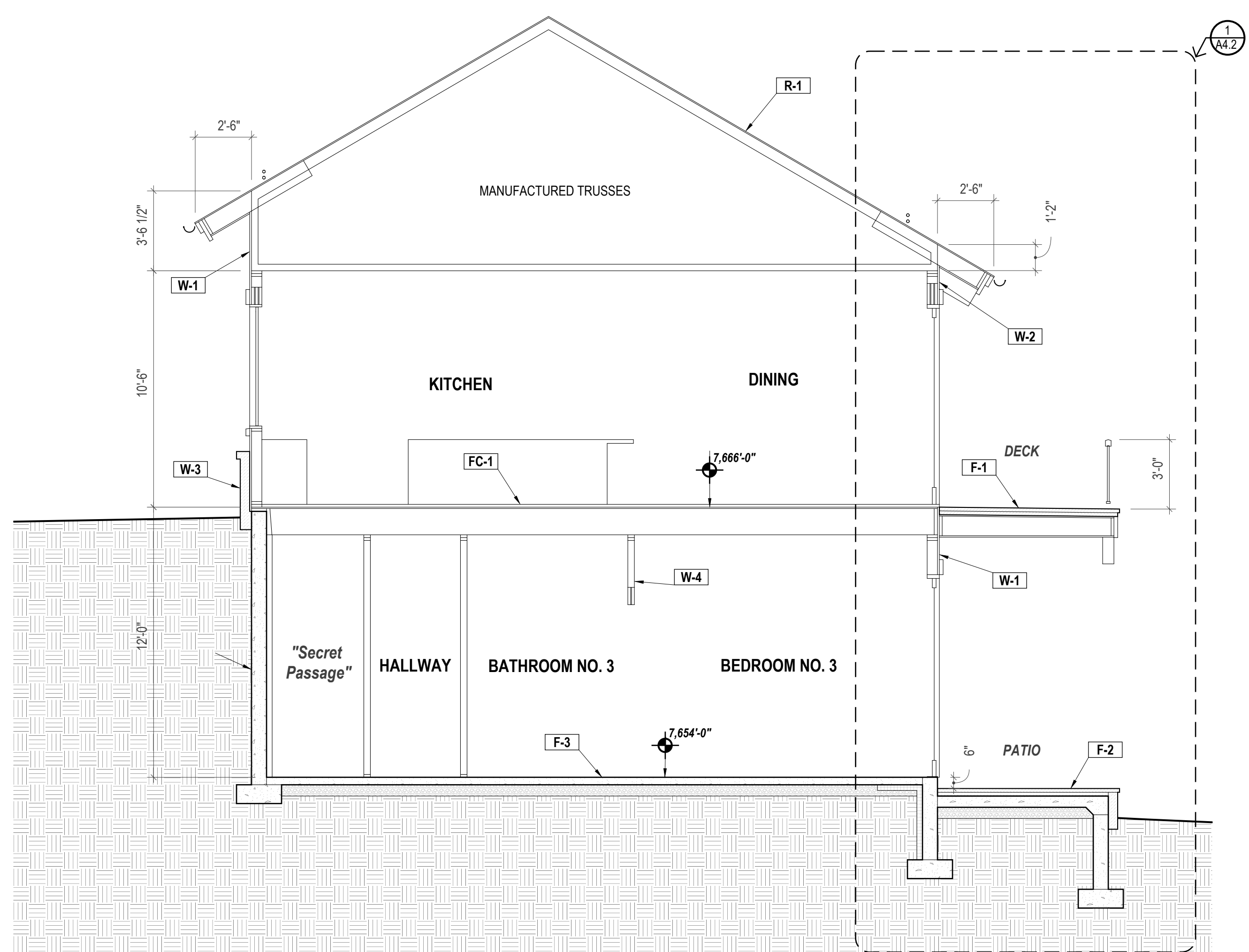
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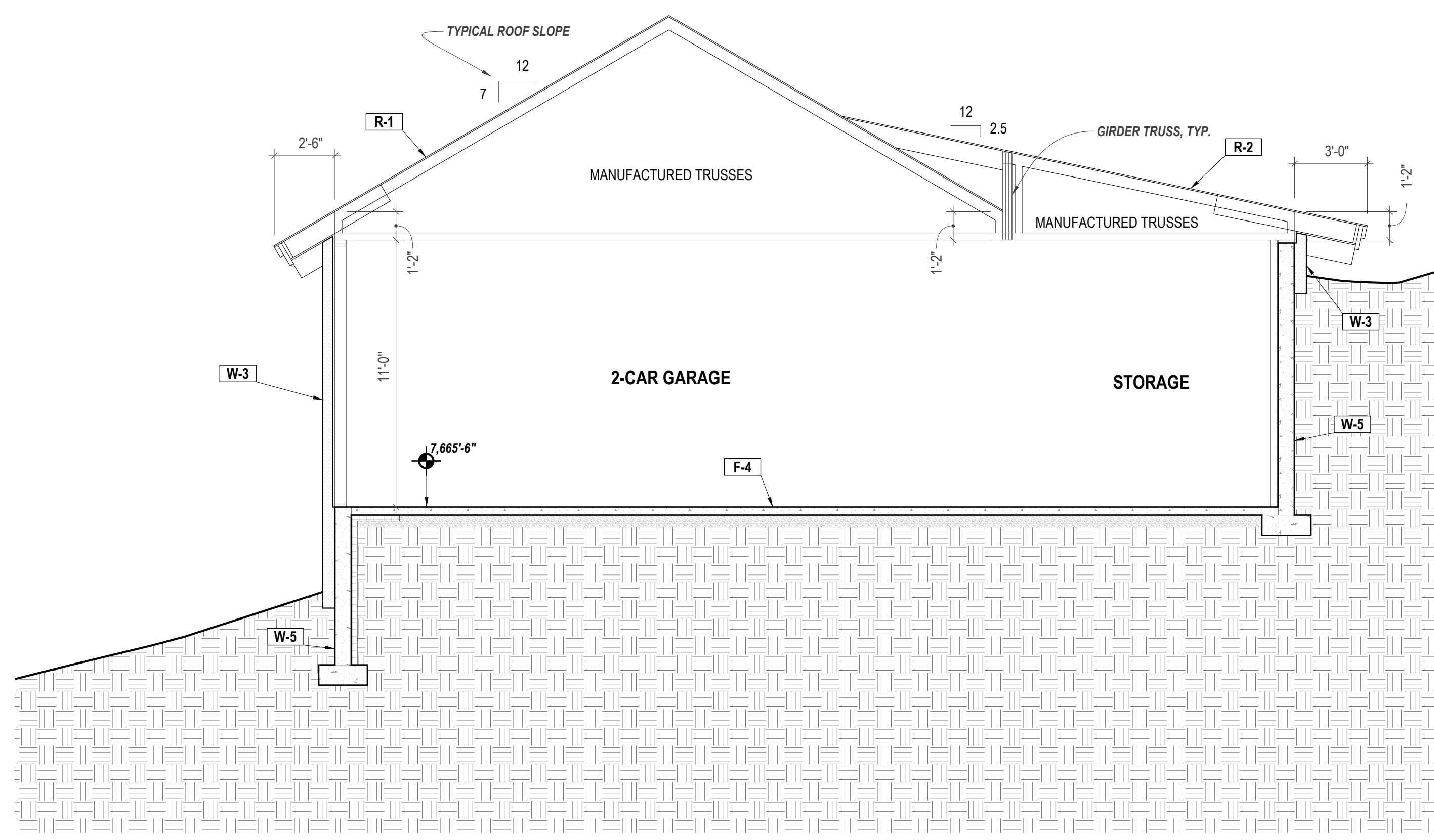
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A3.3
 BUILDING SECTIONS

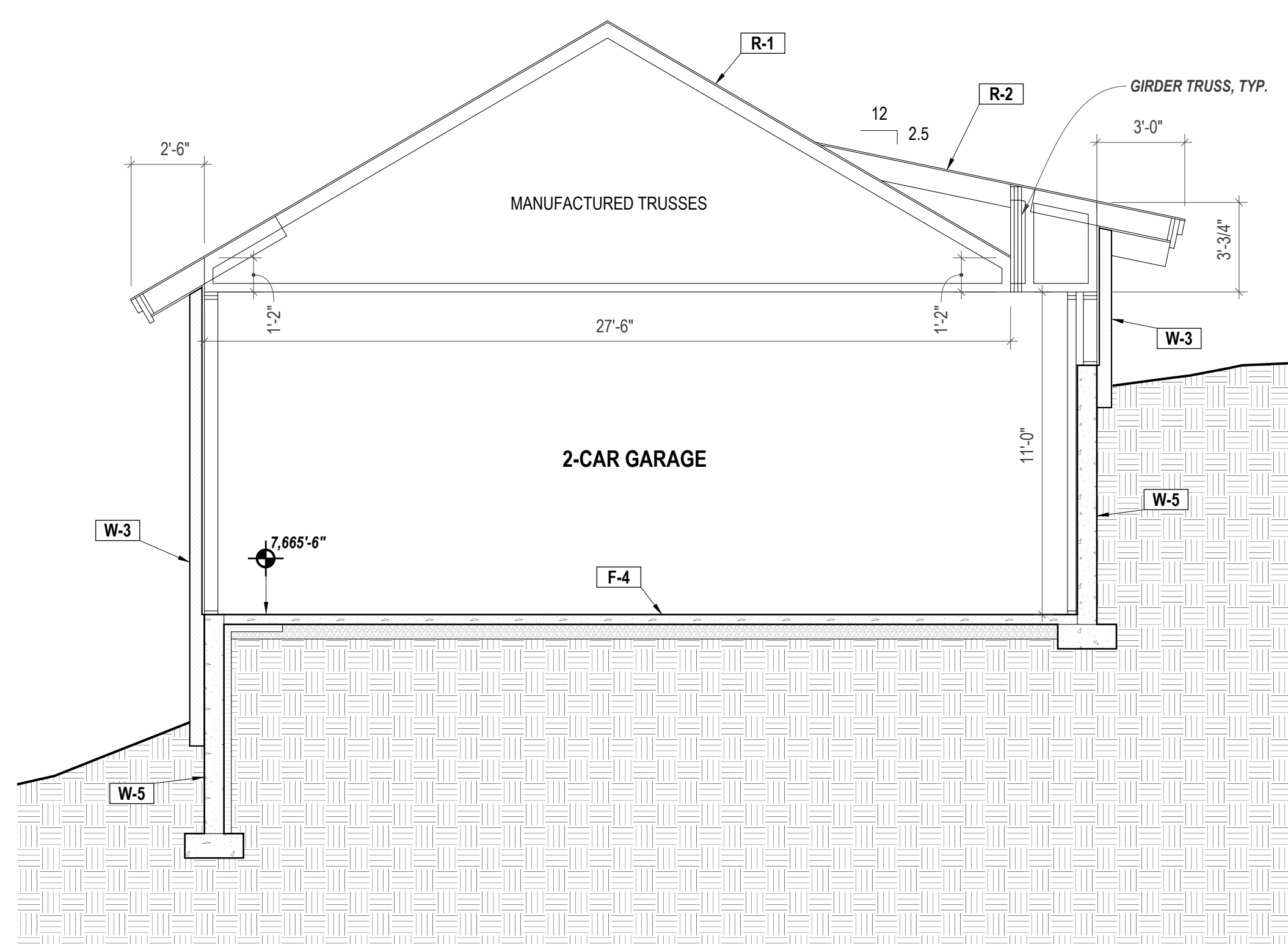


1 BUILDING SECTION
A3.3 SCALE: 1/4" = 1'-0"

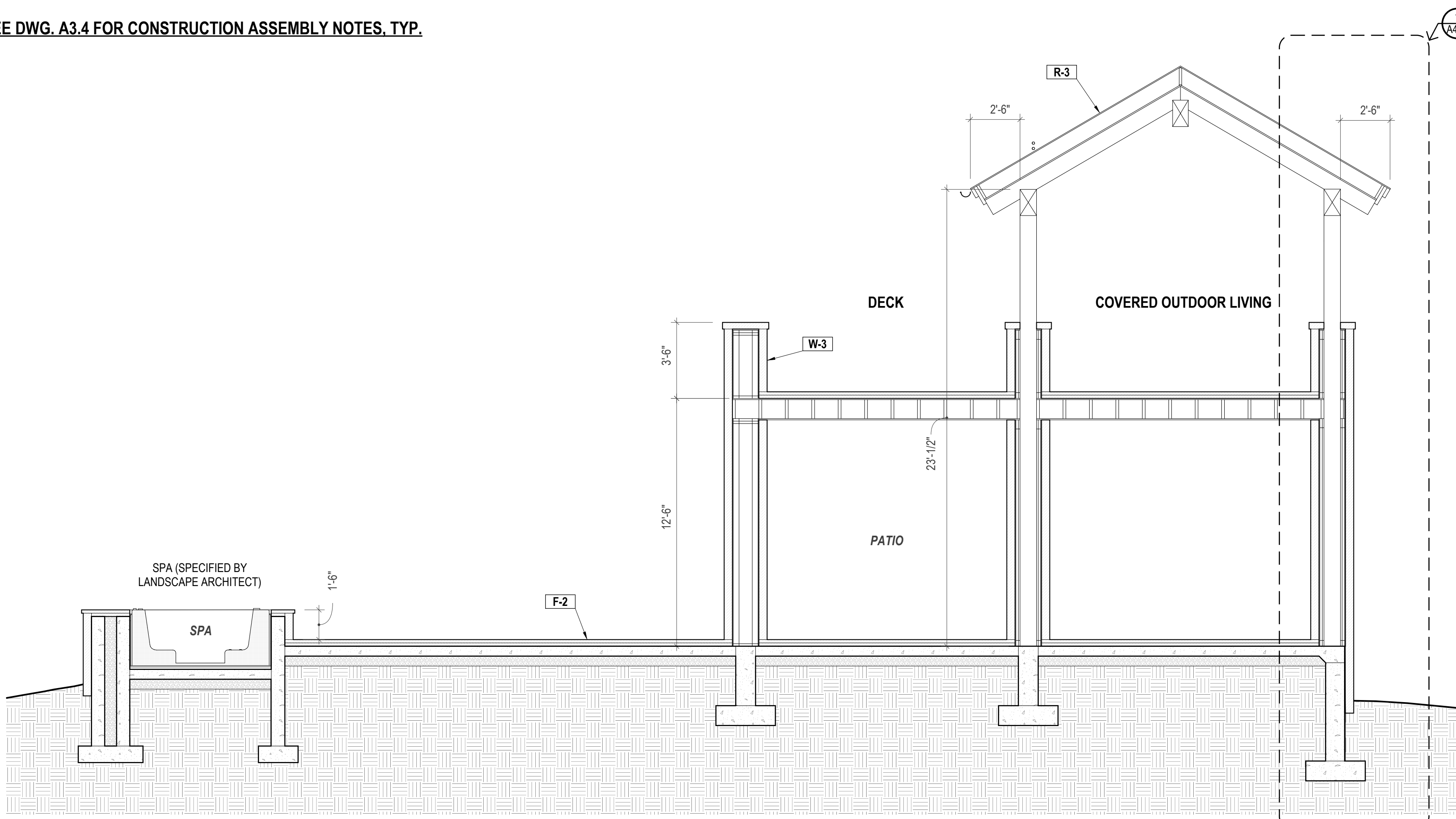


2 BUILDING SECTION
A3.3 SCALE: 1/4" = 1'-0"

SEE DWG. A3.4 FOR CONSTRUCTION ASSEMBLY NOTES, TYP.



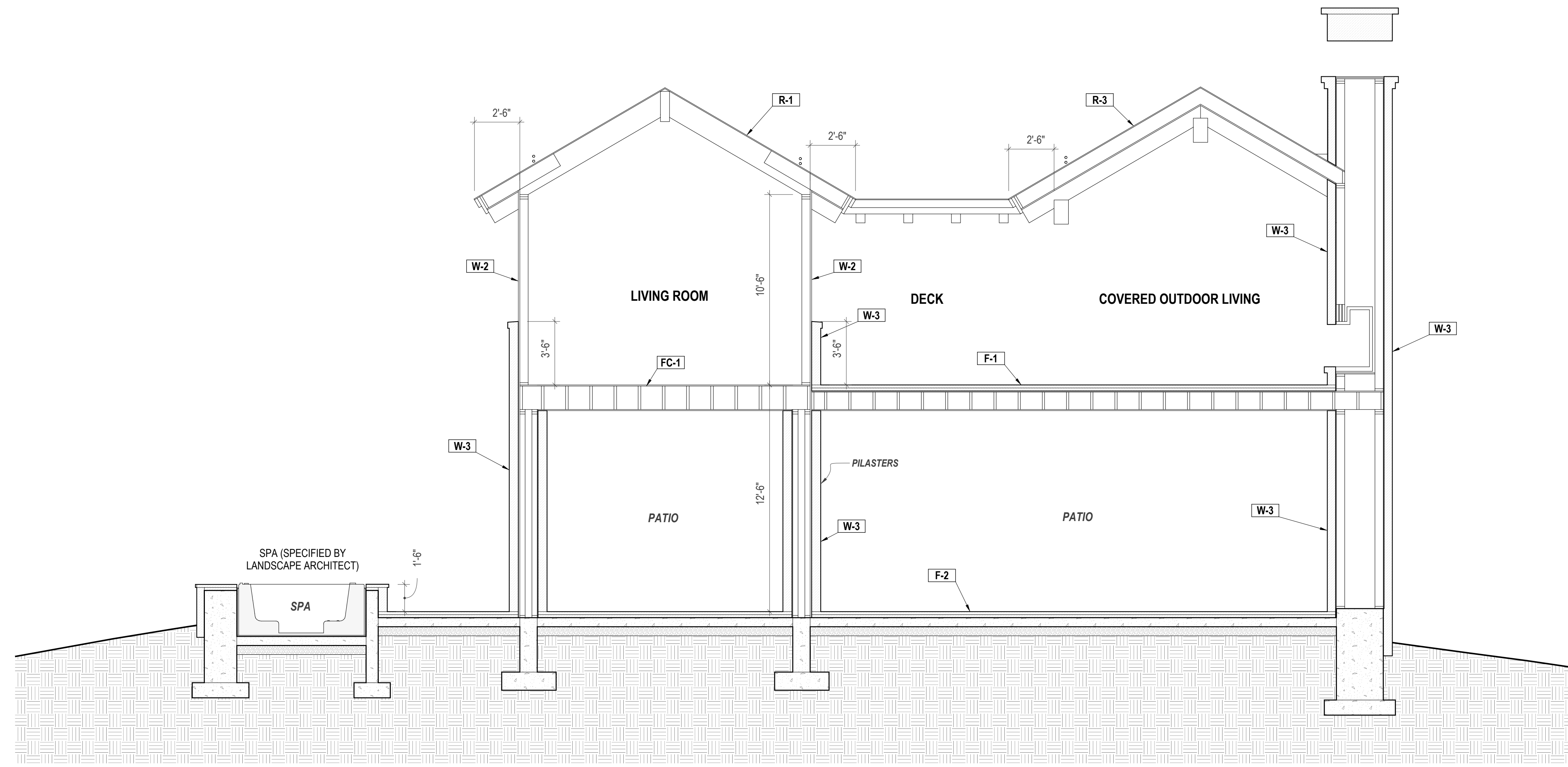
3 BUILDING SECTION
A3.3 SCALE: 1/4" = 1'-0"



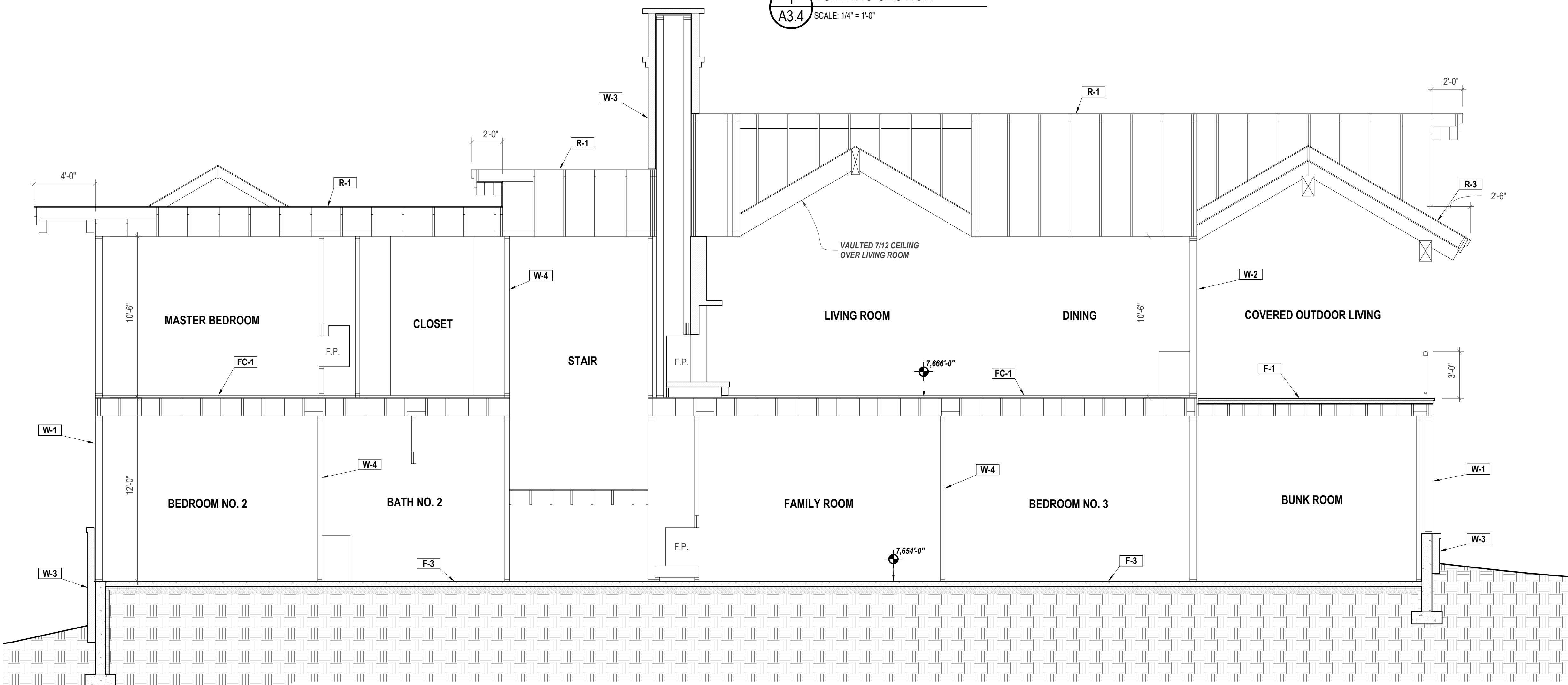
4 BUILDING SECTION
A3.3 SCALE: 1/4" = 1'-0"



PRIER RESIDENCE
 1243 RED DRAW - LOT 15, FILING 11 CORDILLERA
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1 BUILDING SECTION
 A3.4 SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
 A3.4 SCALE: 1/4" = 1'-0"

CONSTRUCTION ASSEMBLIES:

Roof Assembly R-1 (roof):

DaVinci Select Shakes over Grace Ice & Watershield adhered to 5/8" CDX sheathing on roof rafters or trusses re: Structural Engineer. Grace Ice & Watershield membrane to extend over entire roof sheathing. Non-ventilated super insulated roof. Provide 2" minimum (R14) of medium density closed-cell SPF at underside of sheathing between trusses or rafters with (R35) batt insulation to fill remaining space and mechanically fastened. Provide 5/8" type X gypsum wall board over CertainTeed Membrain on bottom of roof rafters or trusses; Provide 2" T&G Douglas Fir at soffits per Moderate Wildfire Hazard.

Roof Assembly R-2 (roof):

Standing seam metal roof over High Temperature Grace Ice & Watershield adhered to 5/8" CDX sheathing on roof rafters or trusses re: Structural Engineer. Grace Ice & Watershield membrane to extend over entire roof sheathing. Non-ventilated super insulated roof. Provide 2" minimum (R14) of medium density closed-cell SPF at underside of sheathing between trusses or rafters with (R35) batt insulation to fill remaining space and mechanically fastened. Provide 5/8" type X gypsum wall board over CertainTeed Membrain on bottom of roof rafters; Provide 2" T&G Douglas Fir at soffits per Moderate Wildfire Hazard.

Roof Assembly R-3 (covered porches):

DaVinci Select Shakes over Grace Ice & Watershield membrane adhered to 5/8" CDX sheathing on roof rafters re: Structural Engineer. Provide H.T. Grace Ice & Watershield membrane to extend over entire roof sheathing; Provide 2" T&G Douglas Fir at porch ceilings per Moderate Wildfire Hazard.

Wall Assembly W-1 (horizontal siding):

Horizontal 1x10 R.S. lap hemlock siding over 2-layers 15# felt over 1" (R3.6) ZIP wall sheathing on 2 x 6 stud wall with 2" minimum (R14) of medium density closed-cell SPF and R15 high density batt insulation. Provide 5/8" type X gypsum wall board over CertainTeed Membrain at inside face of wall. Provide Grace Vycor PRO flashing at all door and window openings.

Wall Assembly W-2 (vertical siding):

Vertical 1x8 R.S. lap cedar siding over 2-layers 15# felt over 1" (R3.6) ZIP wall sheathing on 2 x 6 stud wall with 2" minimum (R14) of medium density closed-cell SPF and R15 high density batt insulation. Provide 5/8" type X gypsum wall board over CertainTeed Membrain at inside face of wall. Provide Grace Vycor PRO flashing at all door and window openings.

Wall Assembly W-3 (stone veneer):

5" stone veneer over 2-layers 30# felt over 1" (R3.6) ZIP wall sheathing on 2 x 6 stud wall with 2" minimum (R14) of medium density closed-cell SPF and R15 high density batt insulation. Provide masonry ties at 16" o/c horizontally and 24" o/c vertically. Provide 5/8" type X gypsum wall board over CertainTeed Membrain at inside face of wall. Provide Grace Vycor PRO flashing at all door and window openings.

Wall Assembly W-4 (interior wall):

5/8" type X gypsum wall board each side of stud wall (2 x 4 or 2 x 6) with sound batt insulation between studs.

Wall Assembly W-5 (foundation wall):

Drainage protection mat over waterproof membrane on concrete foundation wall. Re: Structural Engineer. Provide R-15 XPS Extruded polystyrene board @ interior / exterior face of wall where required. Foundation drainage per soils engineer recommendations; tie drainage mat into foundation drain. Provide 5" stone veneer over 2-layers 30# felt where indicated on elevations and sections.

Floor Assembly FC-1 (typical):

1 1/2" Light-weight concrete over 3/4" T&G plywood on floor joist w/R30 batt insulation between floor joist. Provide 5/8" Type X gypsum wallboard at ceiling.

Floor Assembly F-1 (deck):

2" Architectural Pavers in 2" mortar setting bed on EPDM waterproof membrane over 3/4" T&G plywood re: structural engineer; slope 1/8" per foot to exterior; provide 2" T&G cedar planks at ceiling below per Moderate Wildfire Hazard; Provide 5/8" type x gypsum wall board over CertainTeed Membrain on bottom of structure where located over interior space; Provide 2" minimum (R14) of medium density closed-cell SPF at underside of sheathing between joists with (R35) batt insulation to fill remaining space and mechanically fastened where deck is located over interior space.

Floor Assembly F-2 (patio):

2" Architectural Pavers in 2" mortar setting bed on conc. slab on grade; slope 1/8" per foot to exterior.

Floor Assembly F-3 (concrete floor):

Concrete slab-on-grade over 15 mil Stego Wrap (turn up and seal edges at foundation wall) 6 inches of 3/4" screened gravel. Provide under-slab R10 insulation at perimeter slab edges to a depth of 4 feet.

Floor Assembly F-4 (garage floor):

Epoxy non-slip finish over concrete slab-on-grade over 6 inches of 3/4" screened gravel. Slope concrete 1/8" per foot to floor drains.

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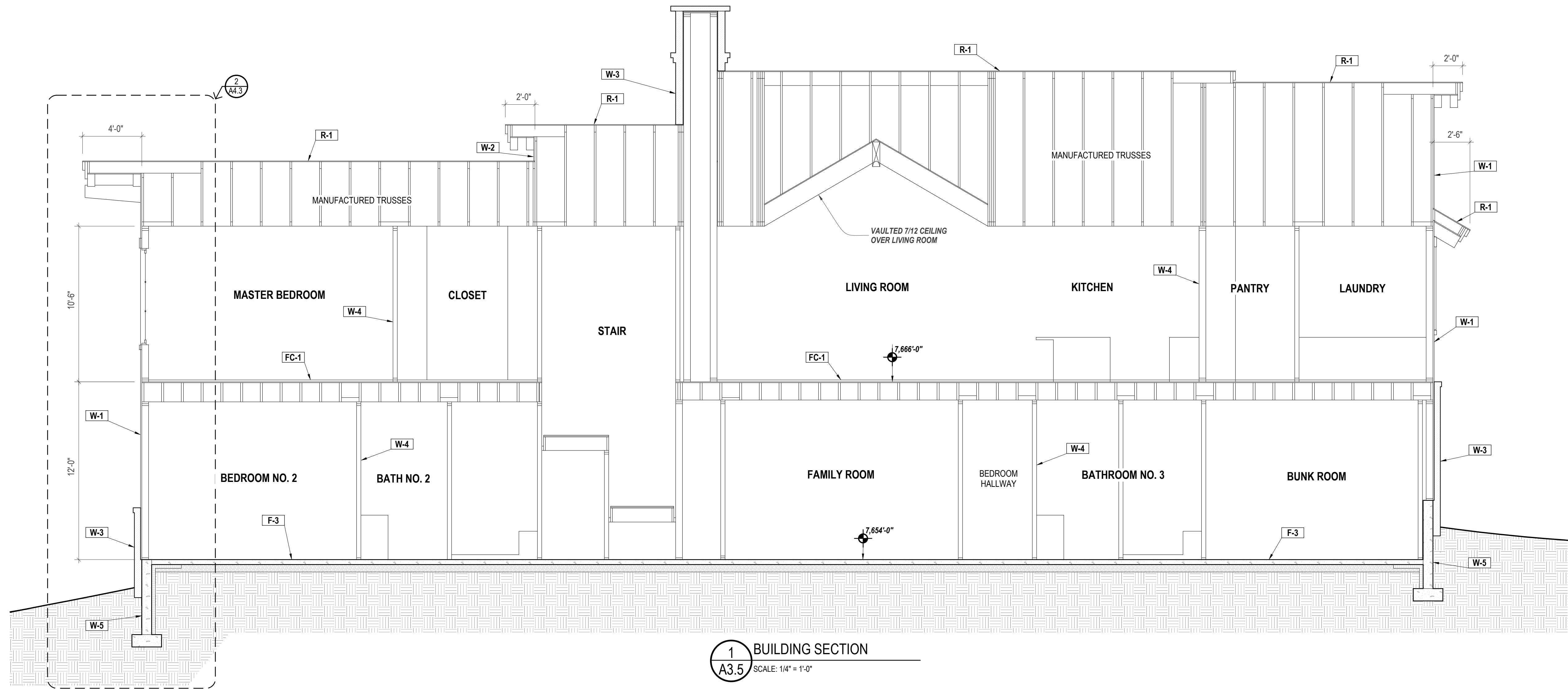
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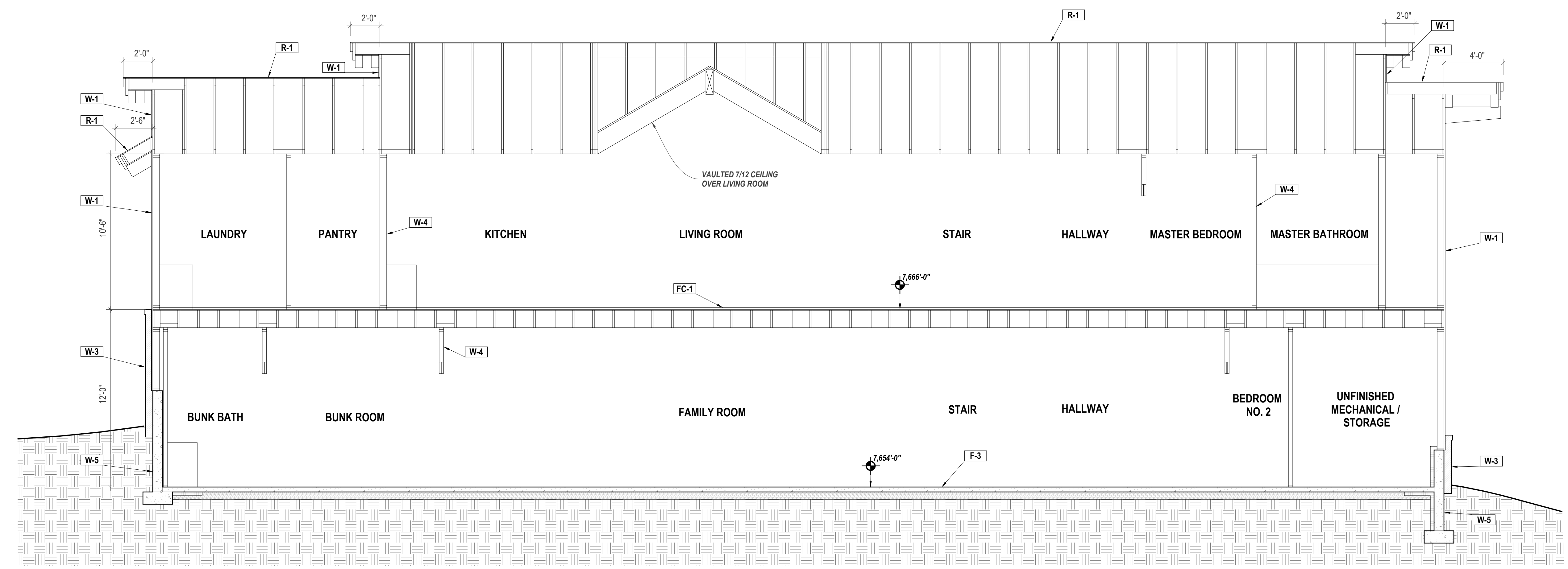
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1 BUILDING SECTION
A3.5 SCALE: 1/4" = 1'-0"

SEE DWG. A3.4 FOR CONSTRUCTION ASSEMBLY NOTES, TYP.



2 BUILDING SECTION
A3.5 SCALE: 1/4" = 1'-0"

A3.5
 BUILDING SECTIONS

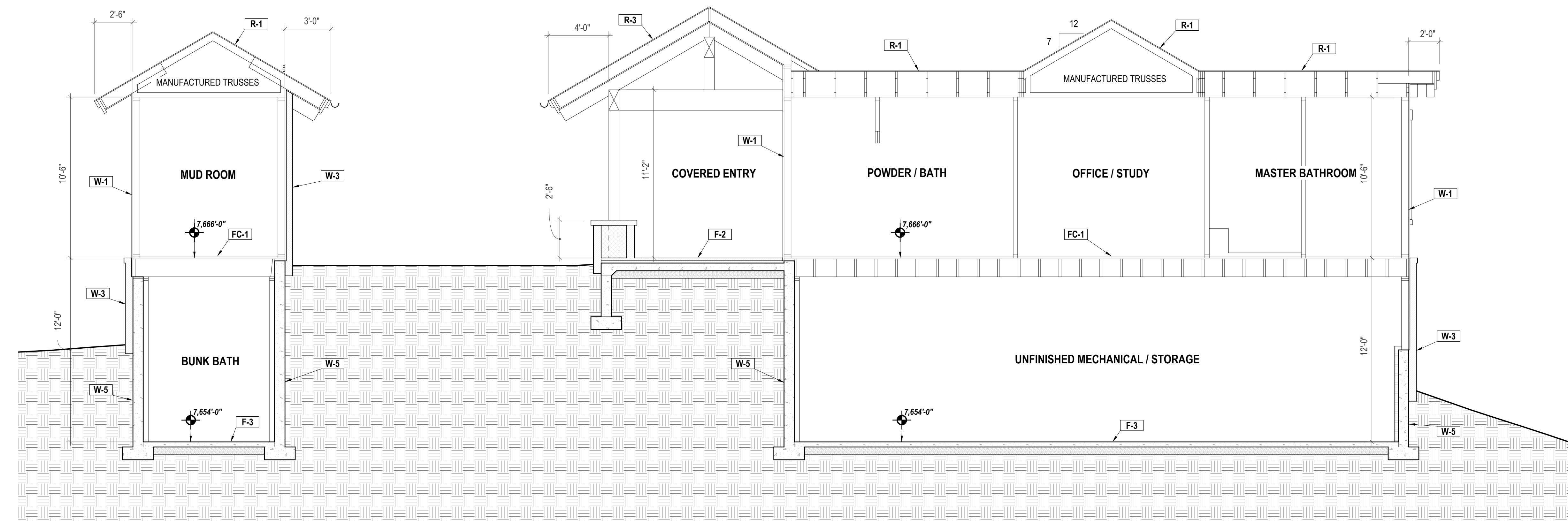
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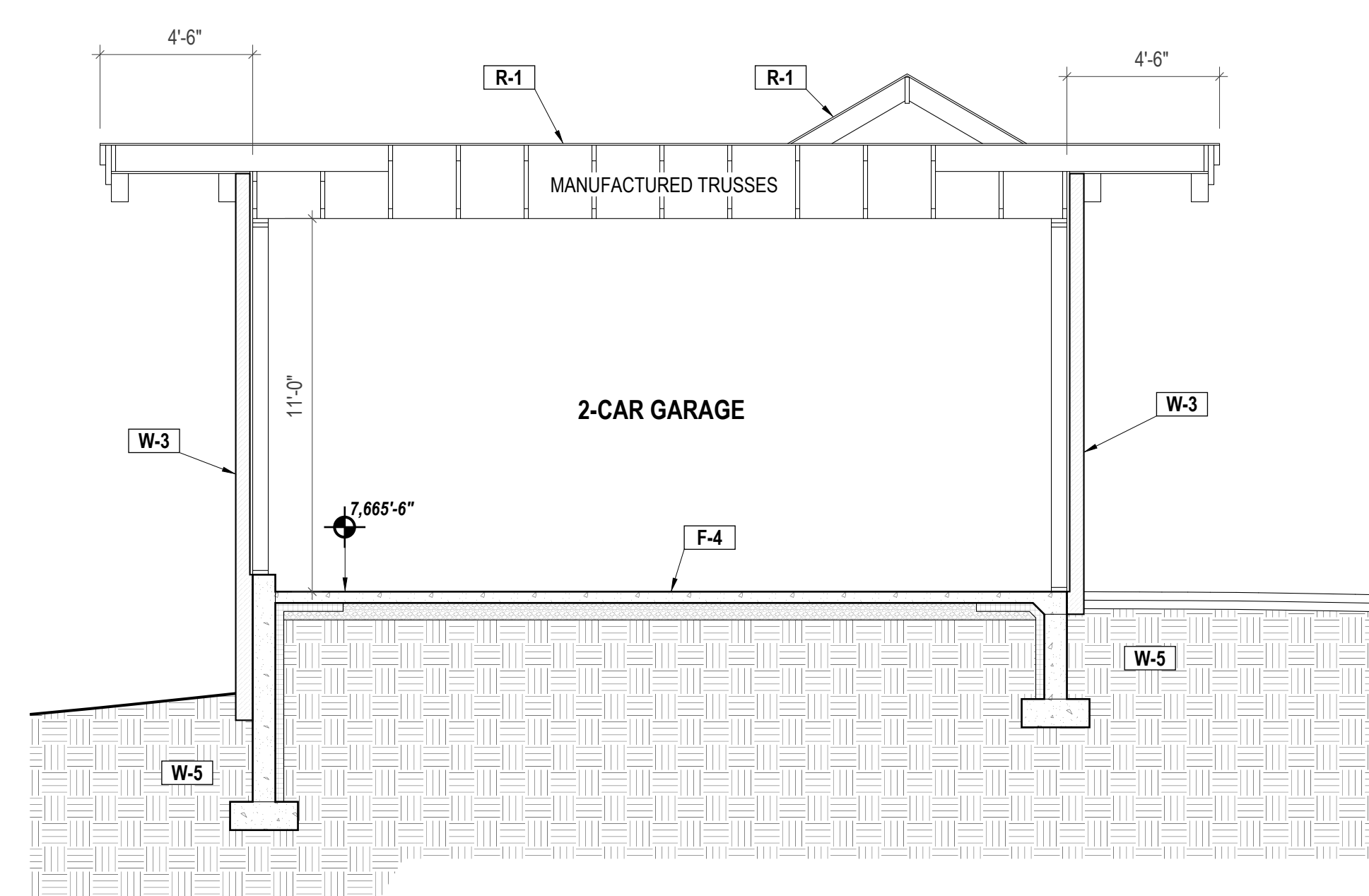
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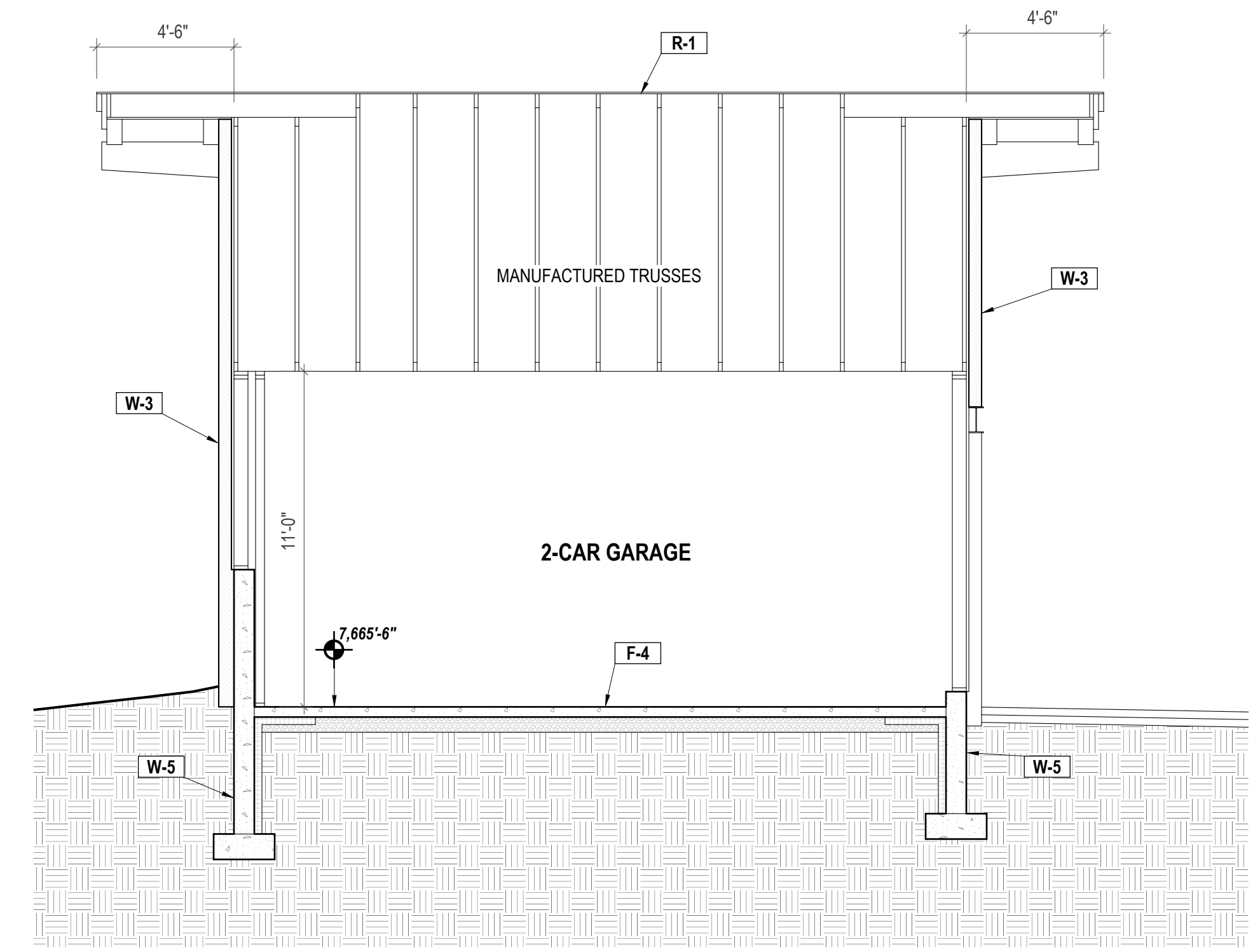


1 BUILDING SECTION
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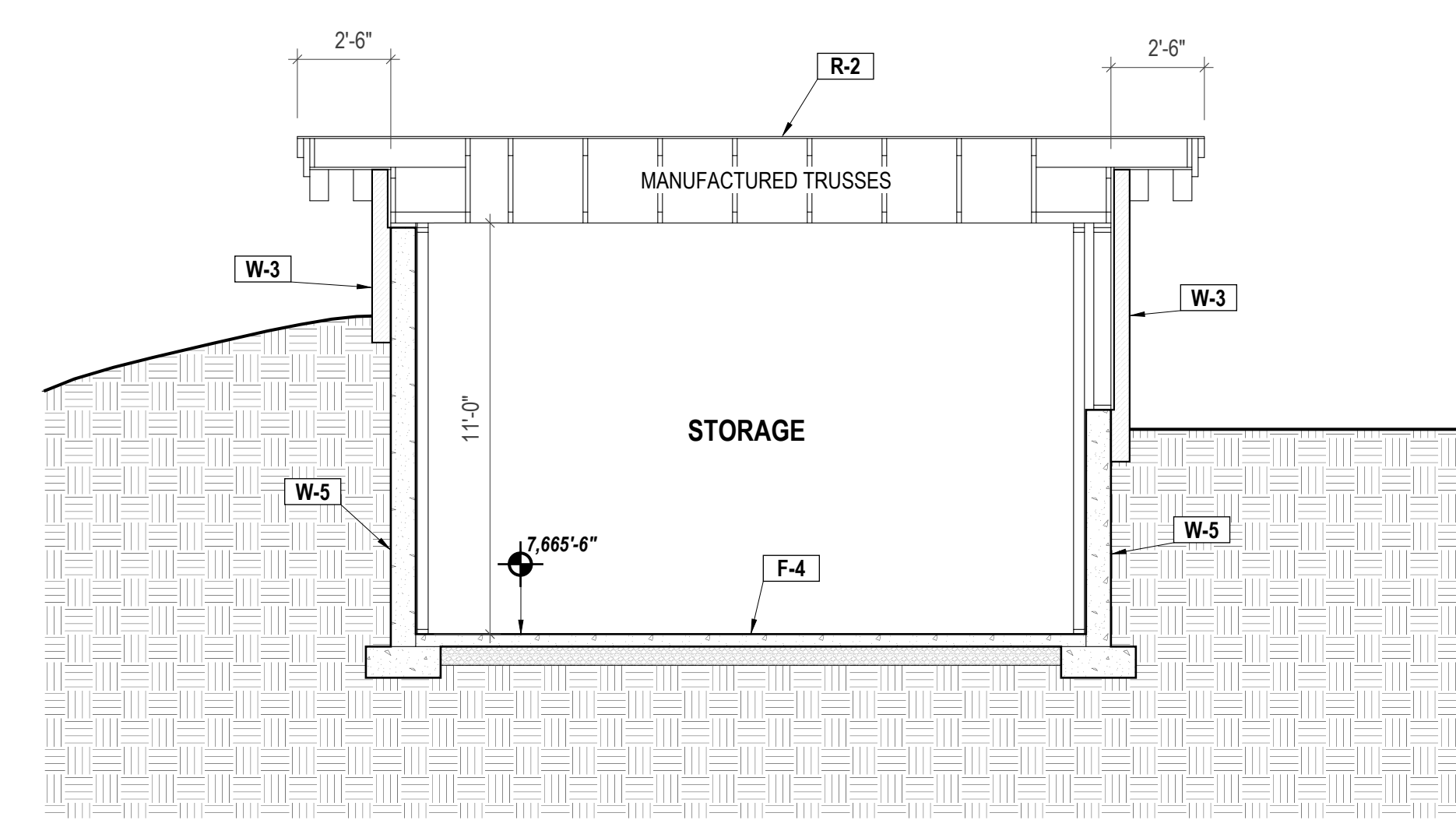
SEE DWG. A3.4 FOR CONSTRUCTION ASSEMBLY NOTES, TYP.



2 BUILDING SECTION
A3.6 SCALE: 1/4" = 1'-0"



3 BUILDING SECTION
A3.6 SCALE: 1/4" = 1'-0"



4 BUILDING SECTION
A3.6 SCALE: 1/4" = 1'-0"

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A3.6
 BUILDING SECTIONS

JUNE 8, 2023



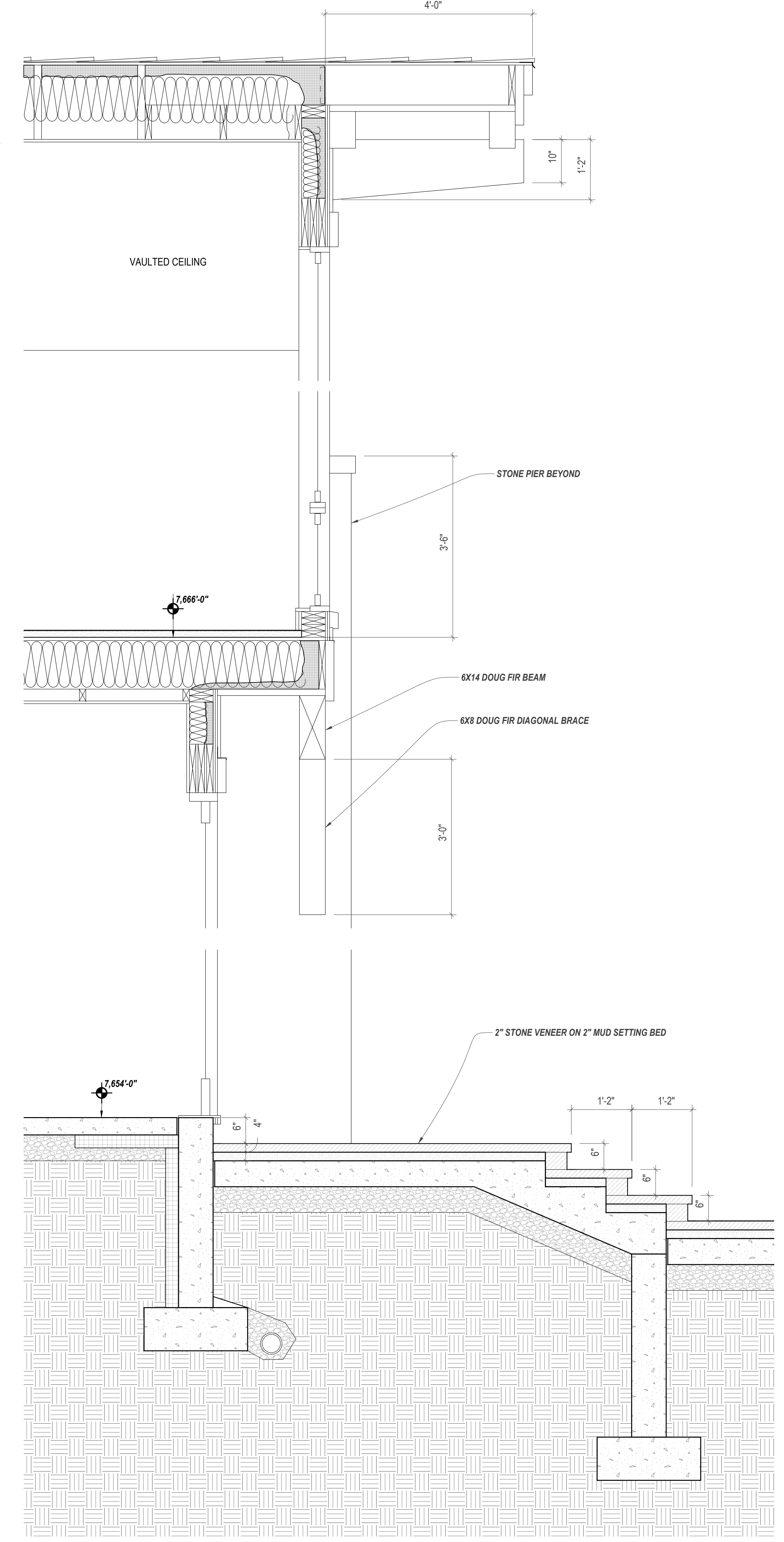
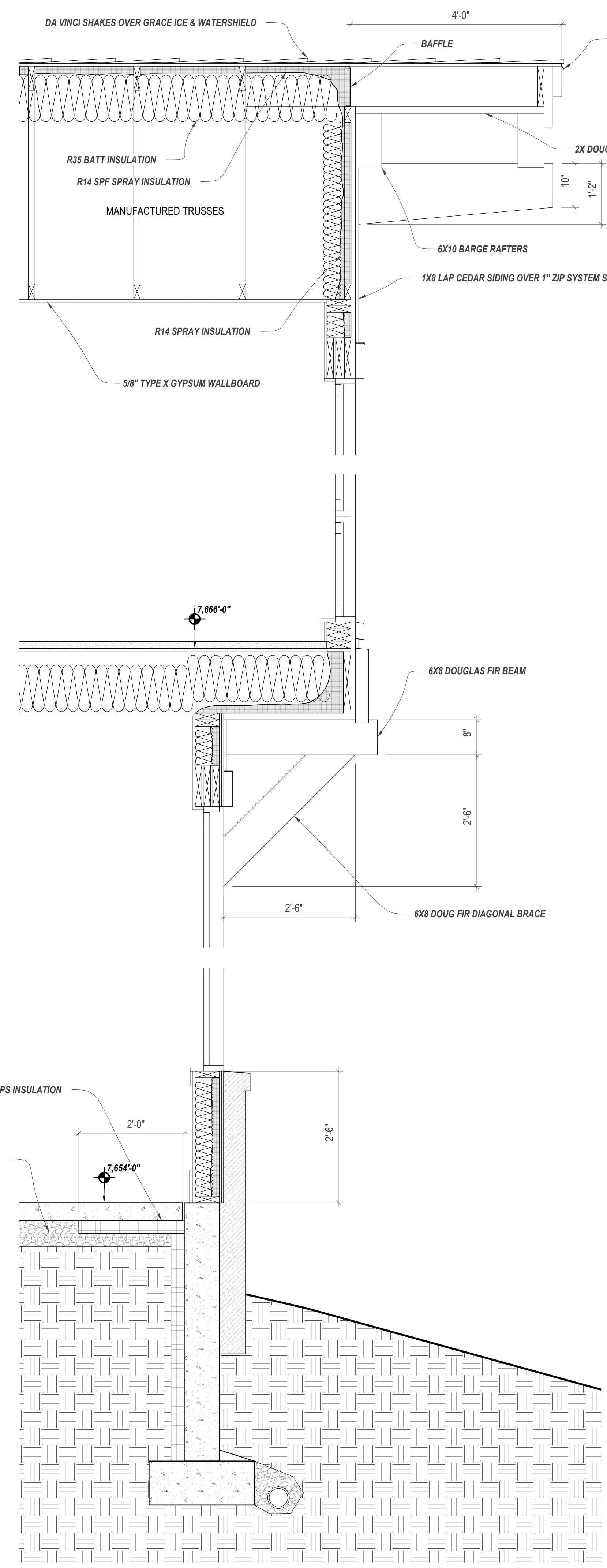
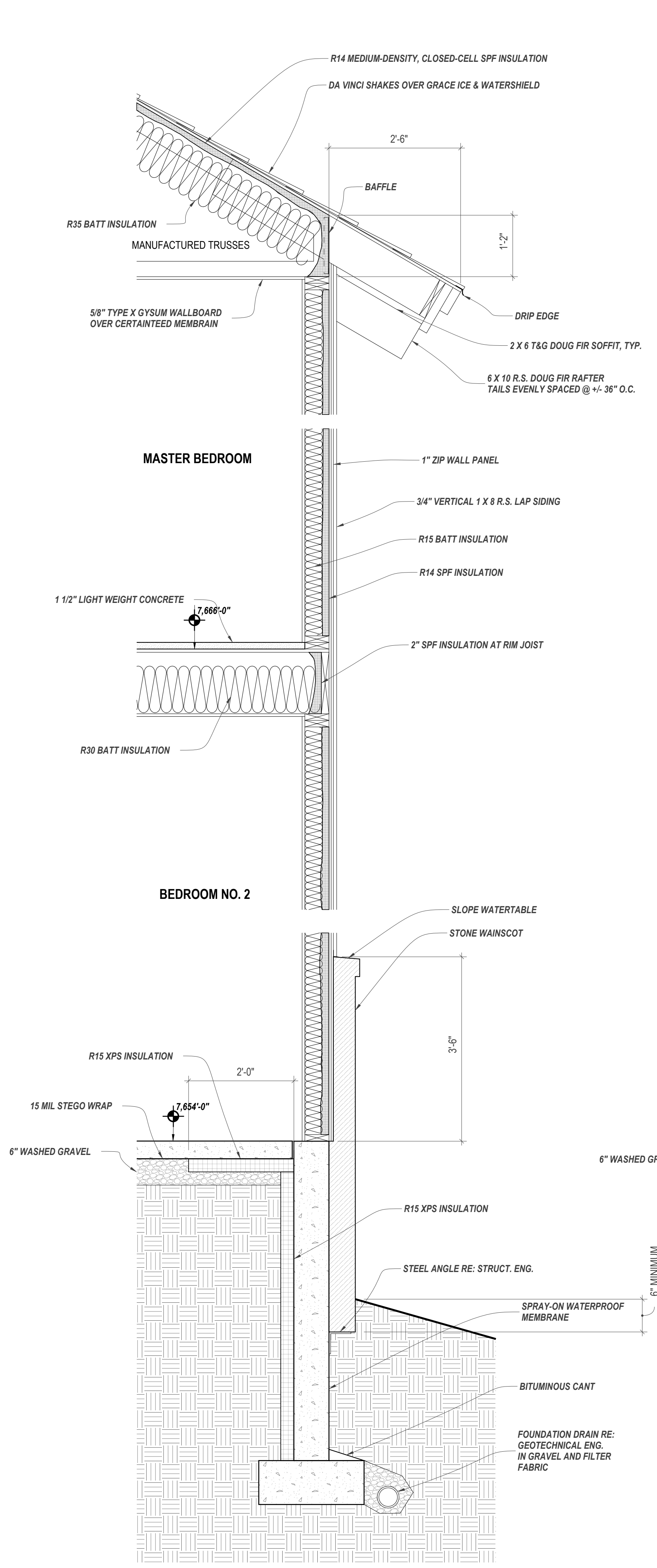
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A4.1
 WALL SECTIONS





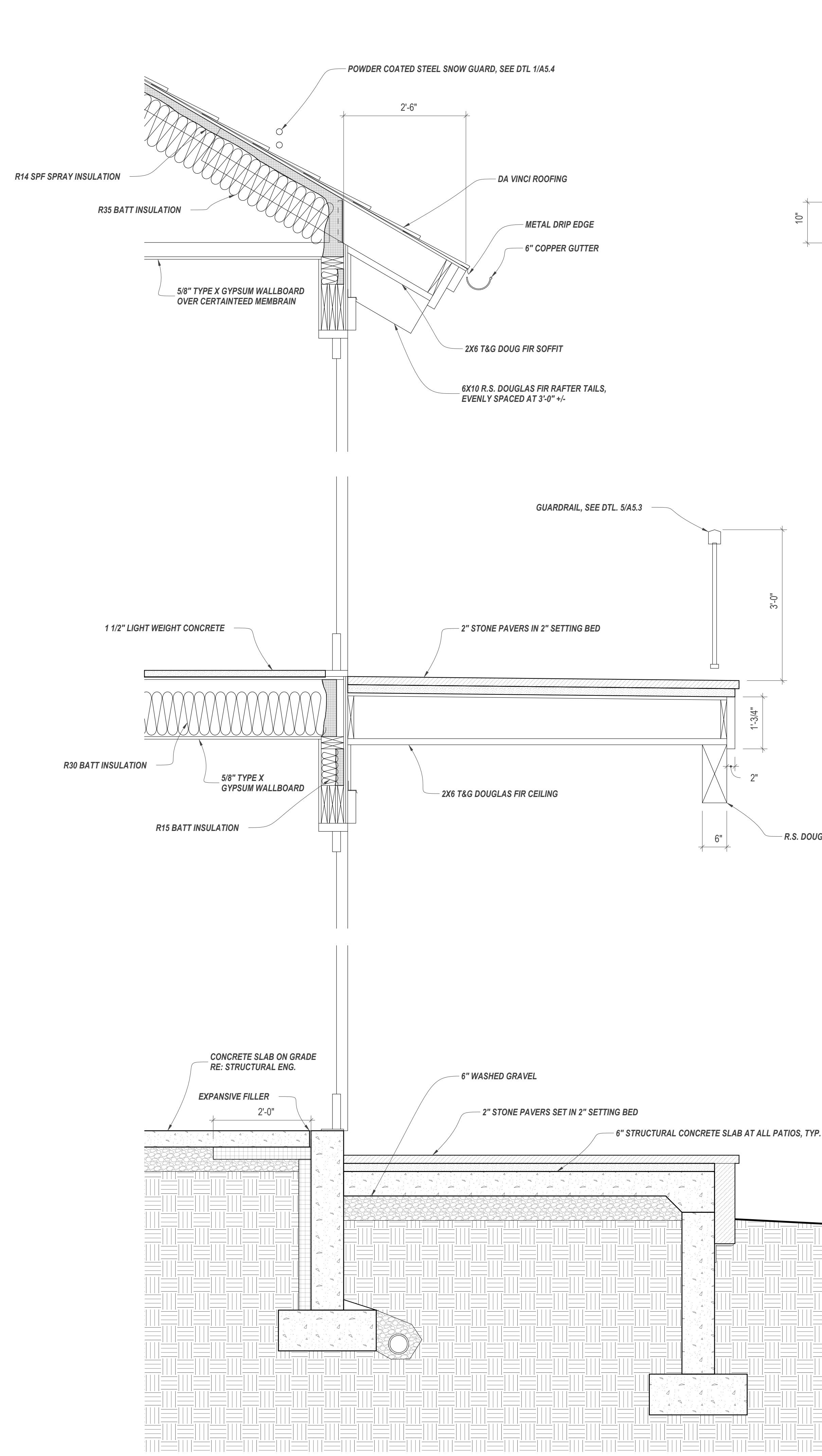
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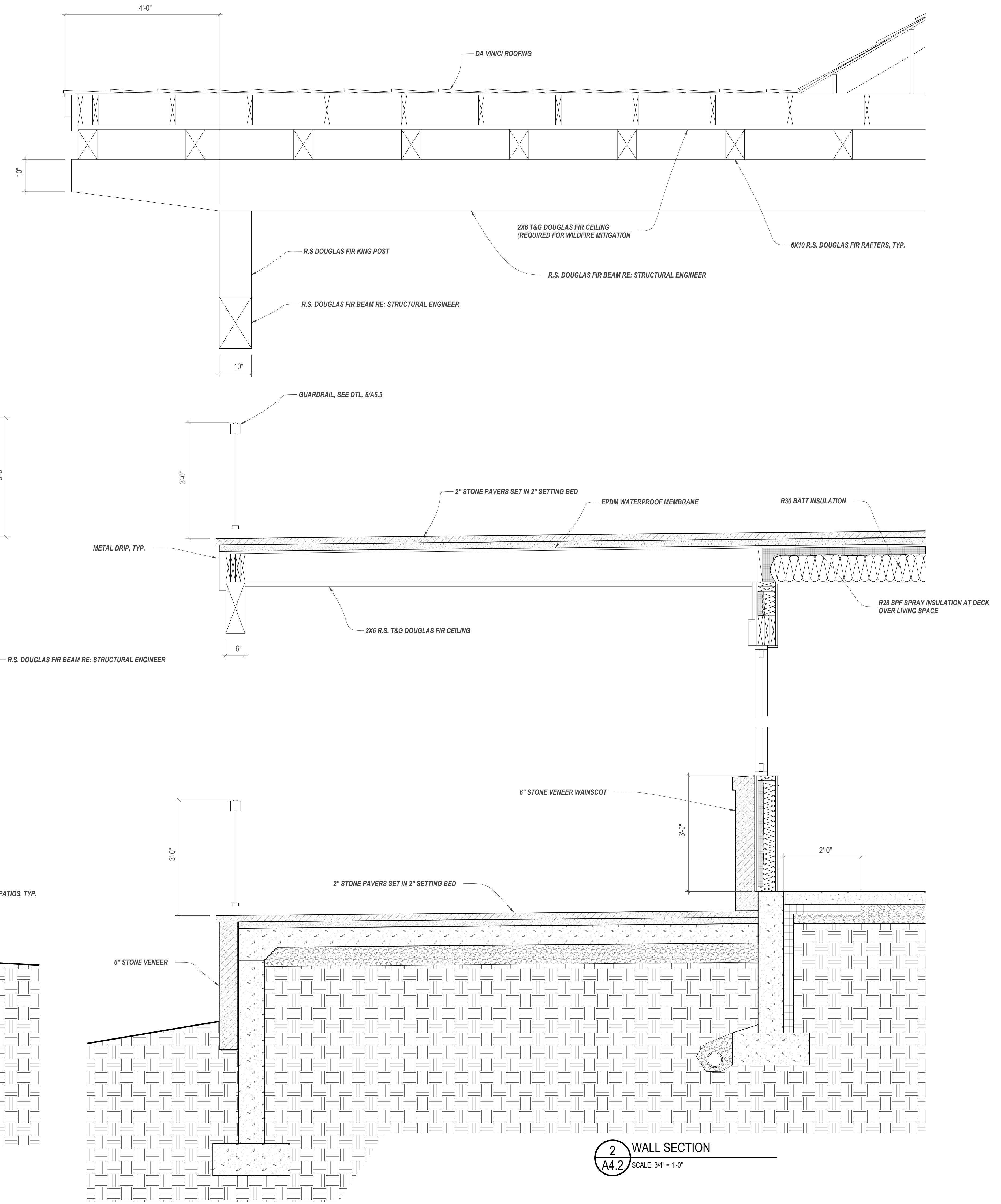
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A4.2
 WALL SECTIONS



1 WALL SECTION
 A4.2 SCALE: 3/4" = 1'-0"

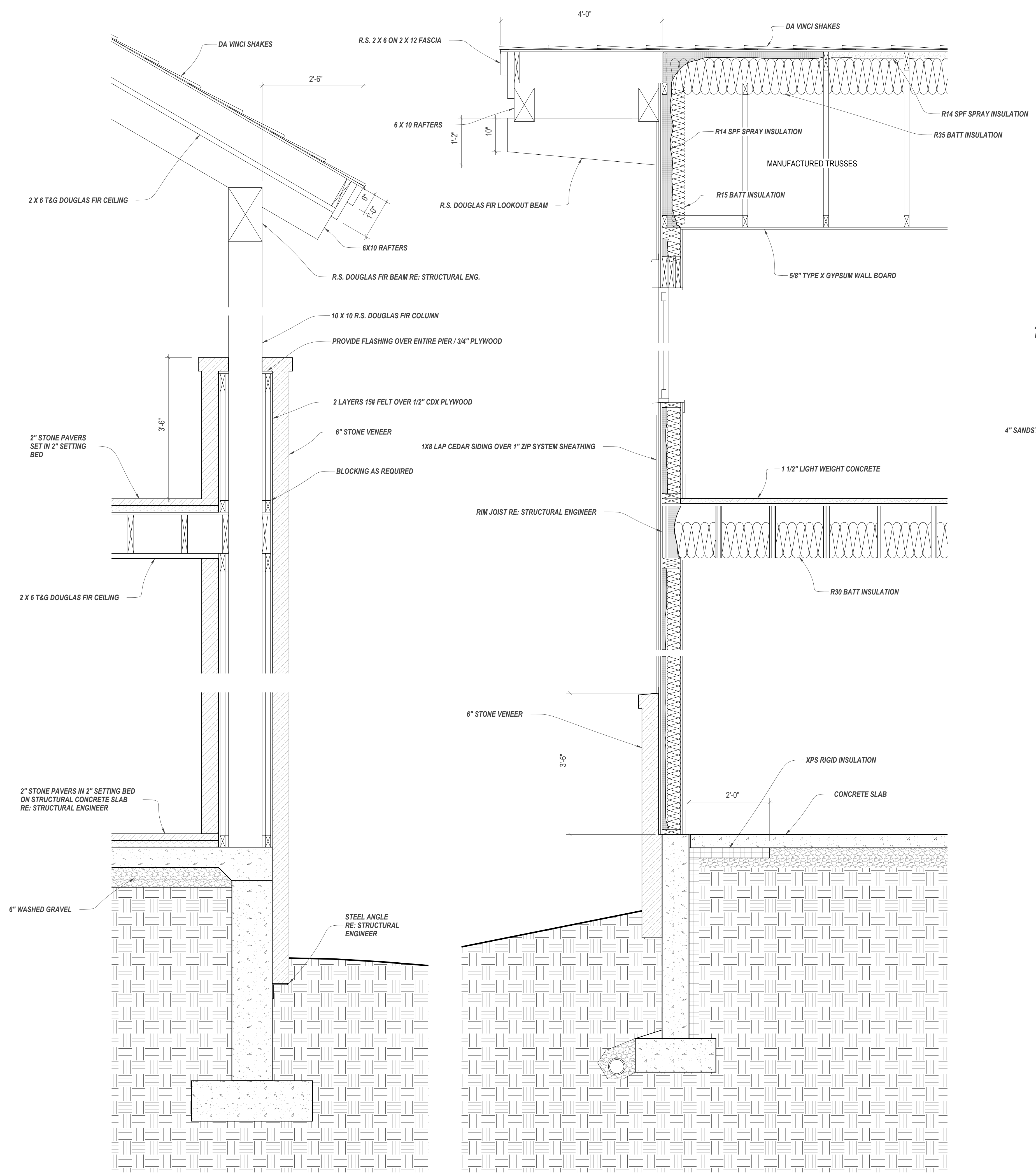


2 WALL SECTION
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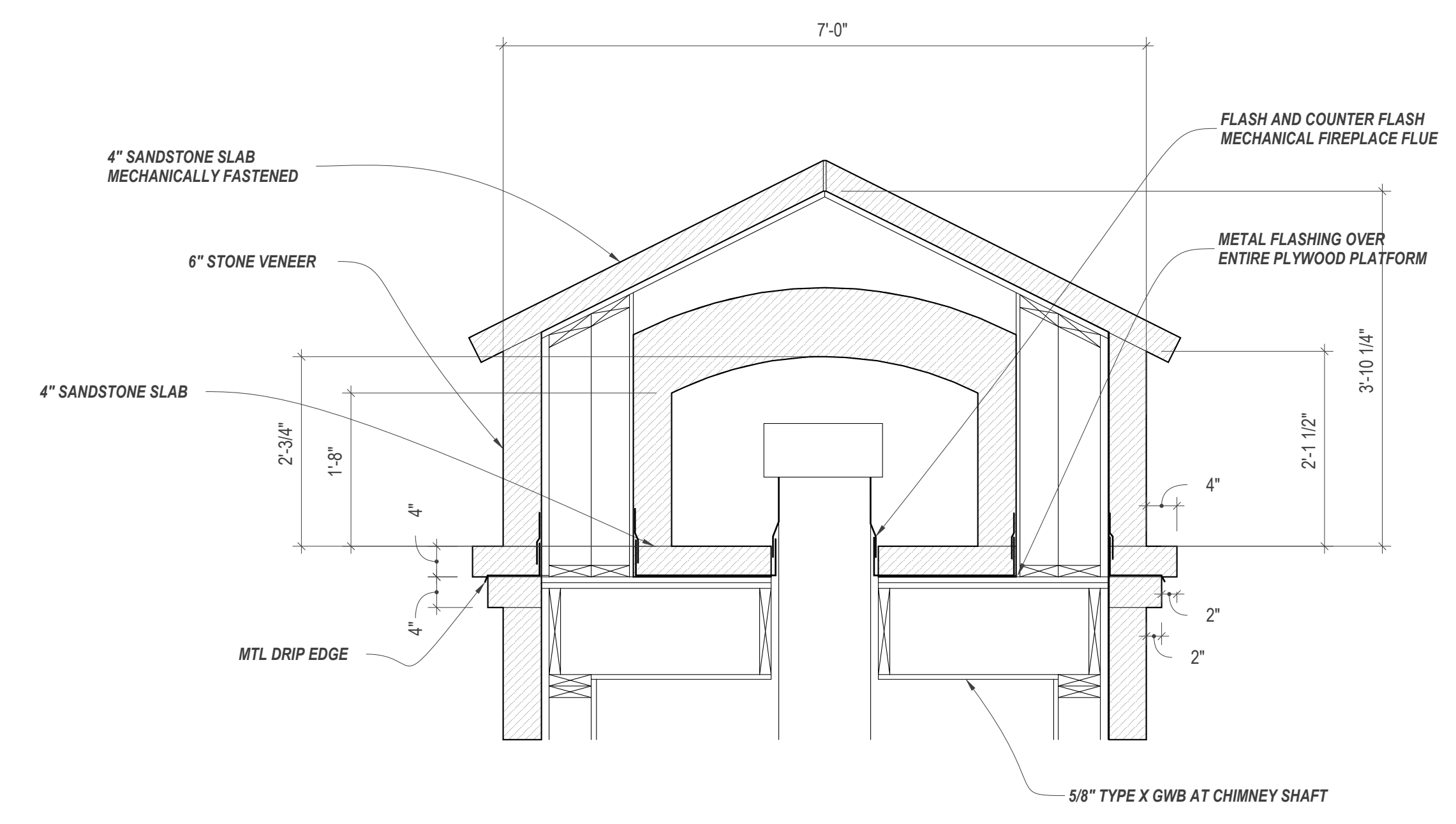
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1 WALL SECTION
A4.3 SCALE: 3/4" = 1'-0"

2 WALL SECTION
A4.3 SCALE: 3/4" = 1'-0"



3 CHIMNEY CAP DETAIL
A4.3 SCALE: 3/4" = 1'-0"

ISSUE:	DATE:
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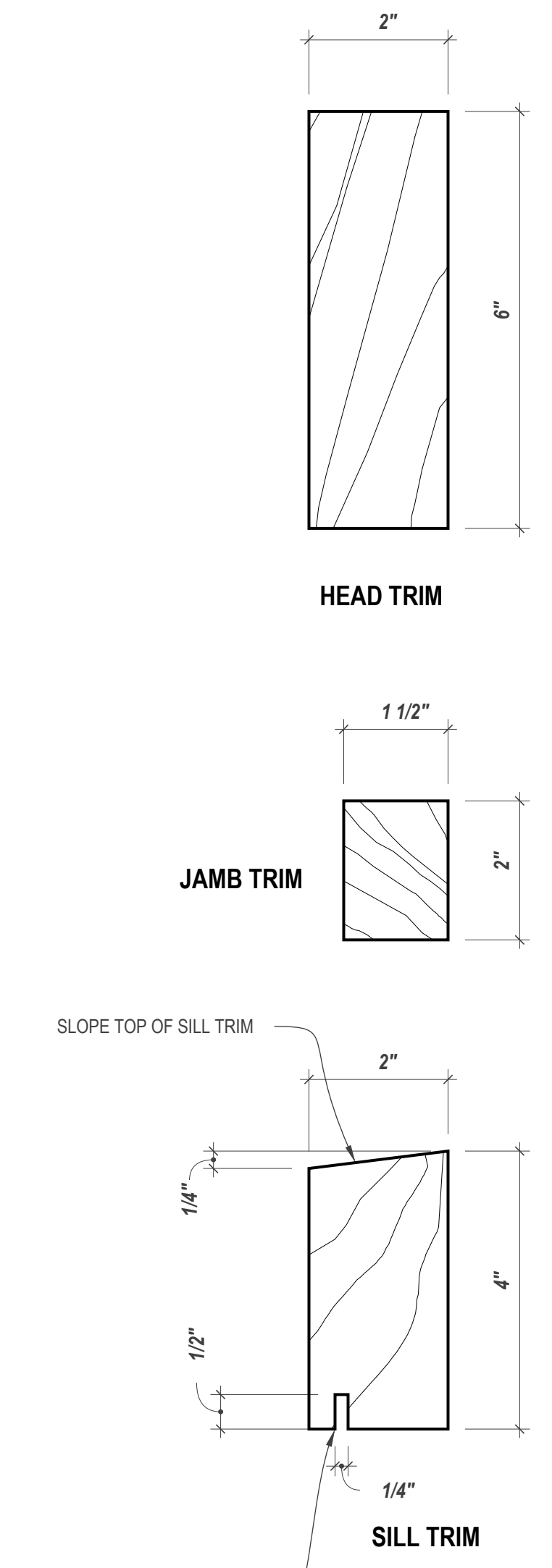
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 EAGLE, COLORADO 81631
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A4.3
 WALL SECTIONS

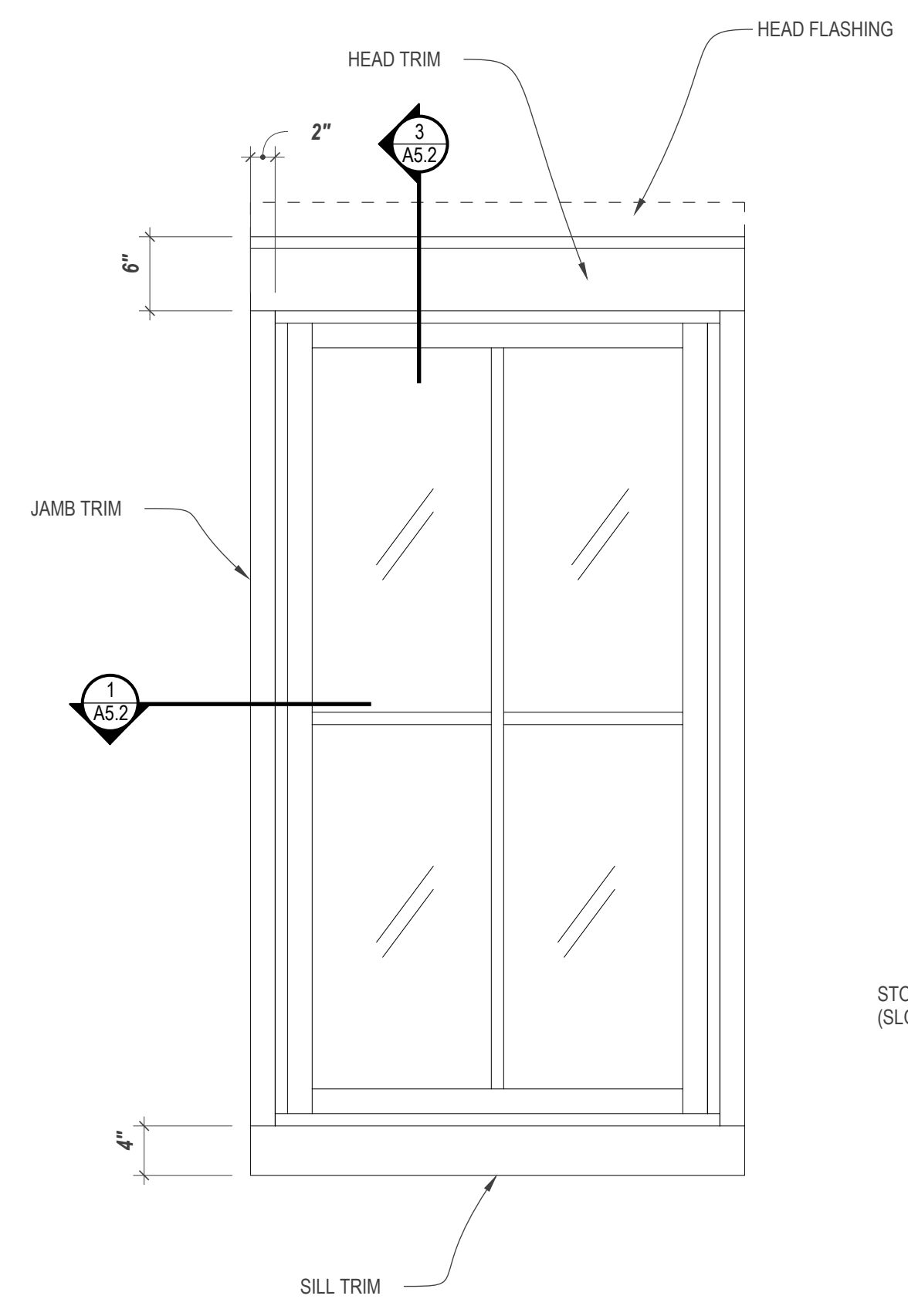
JUNE 8, 2023

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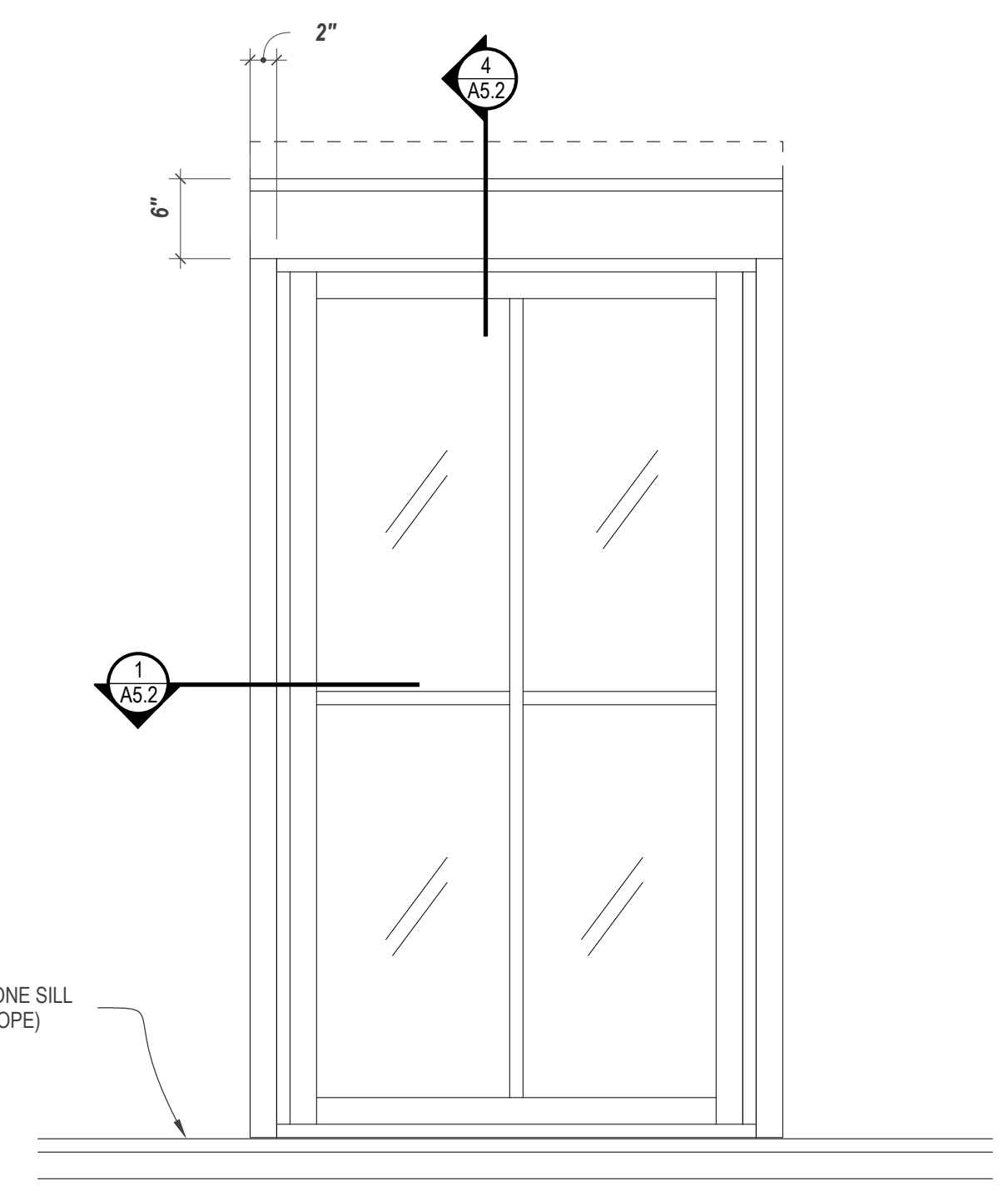
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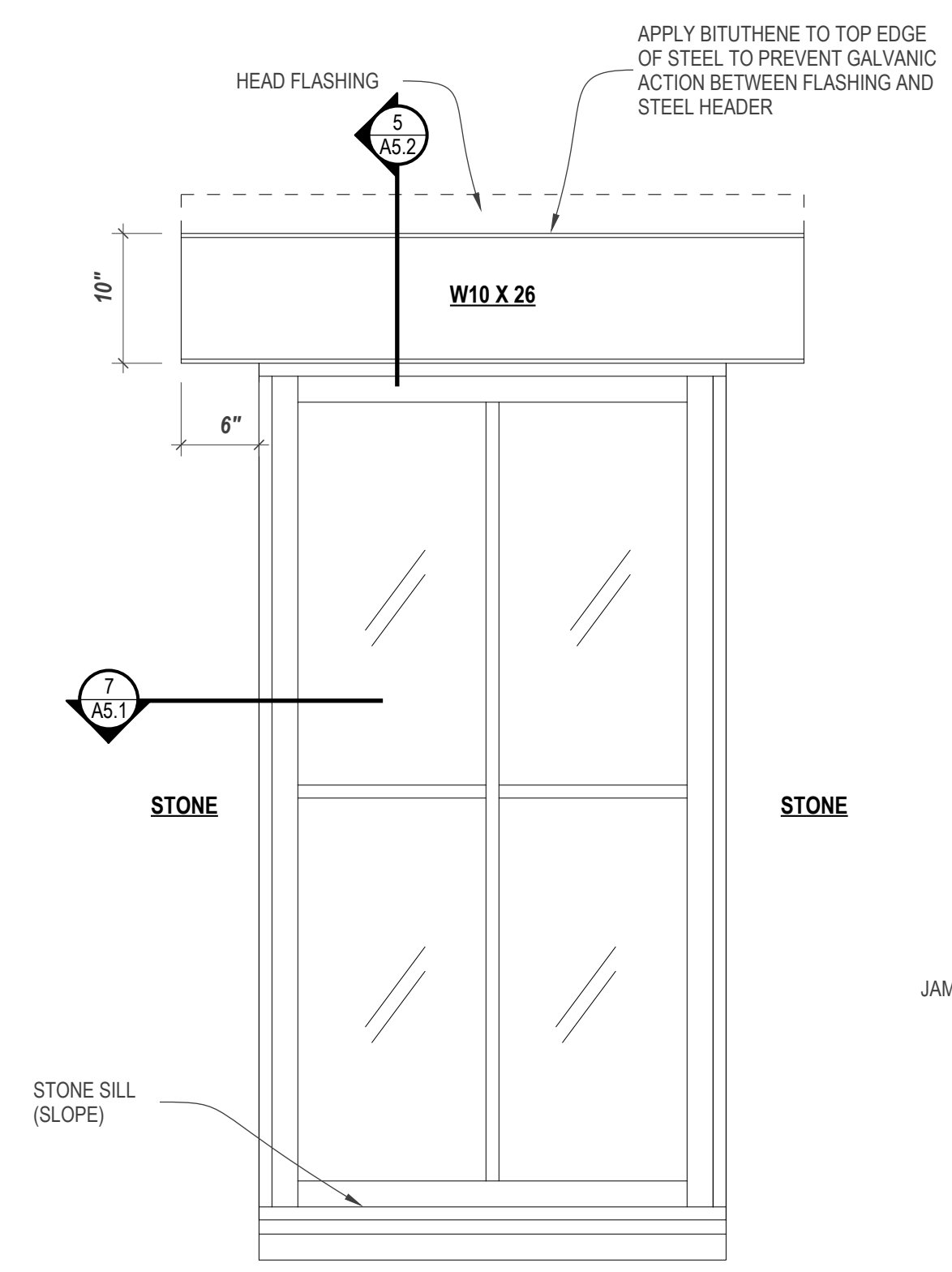
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A5.1 TYPICAL WOOD TRIM PROFILES
SCALE: HALF



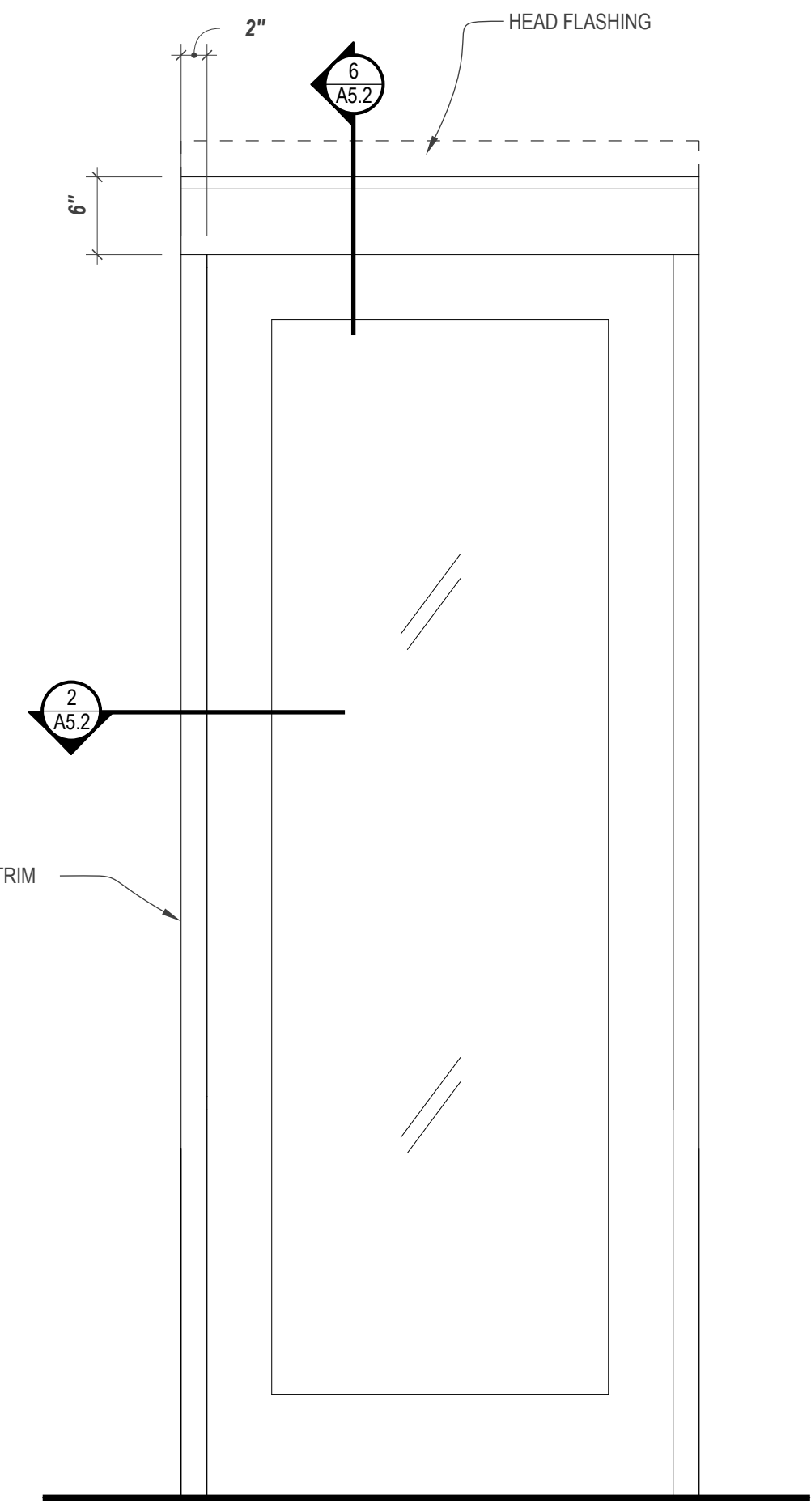
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A5.1 TYPICAL WINDOW ELEVATION
SCALE: 1" = 1'-0"



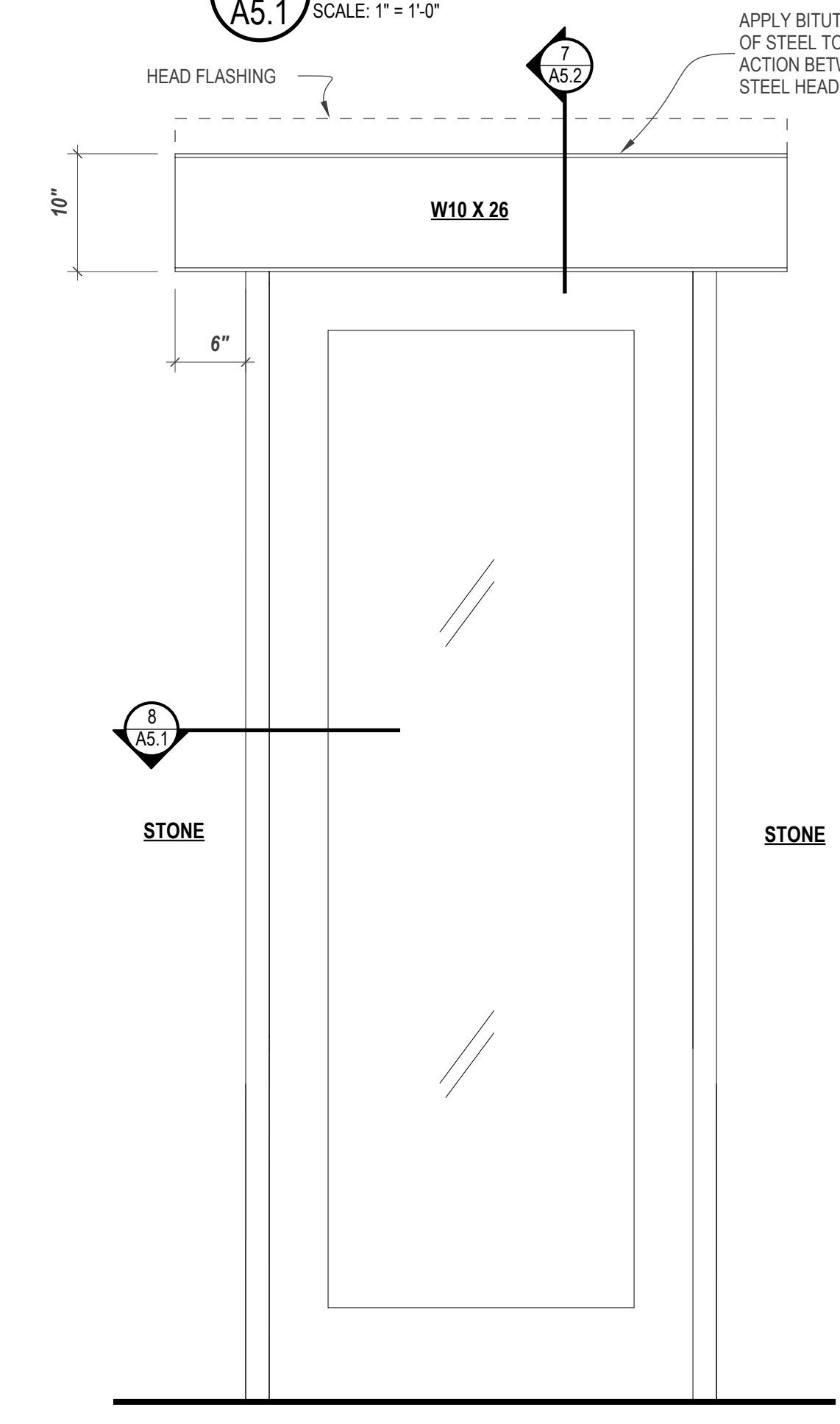
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A5.1 WINDOW W/ STONE SILL
SCALE: 1" = 1'-0"



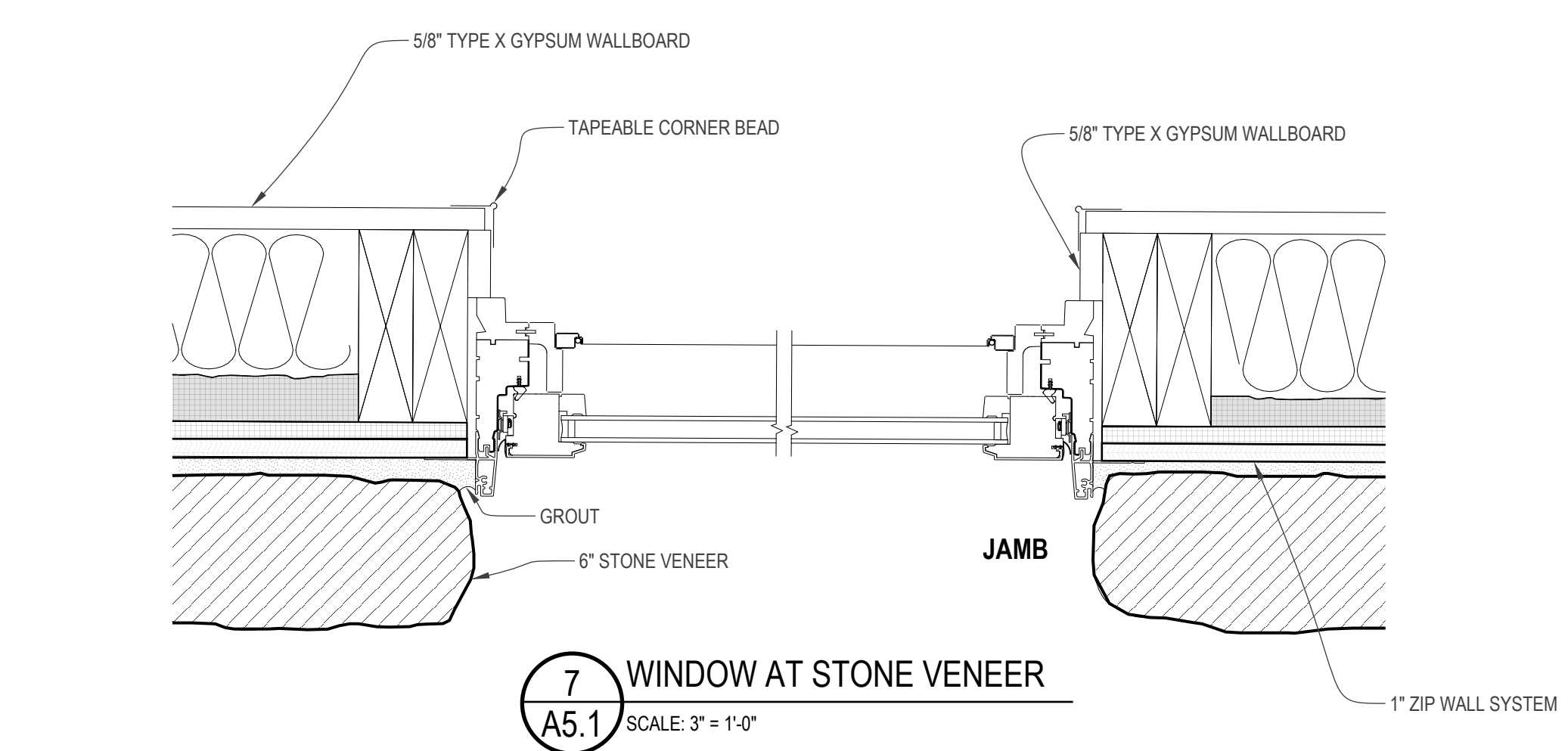
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A5.1 WINDOW AT STONE W/ STEEL HEADER
SCALE: 1" = 1'-0"



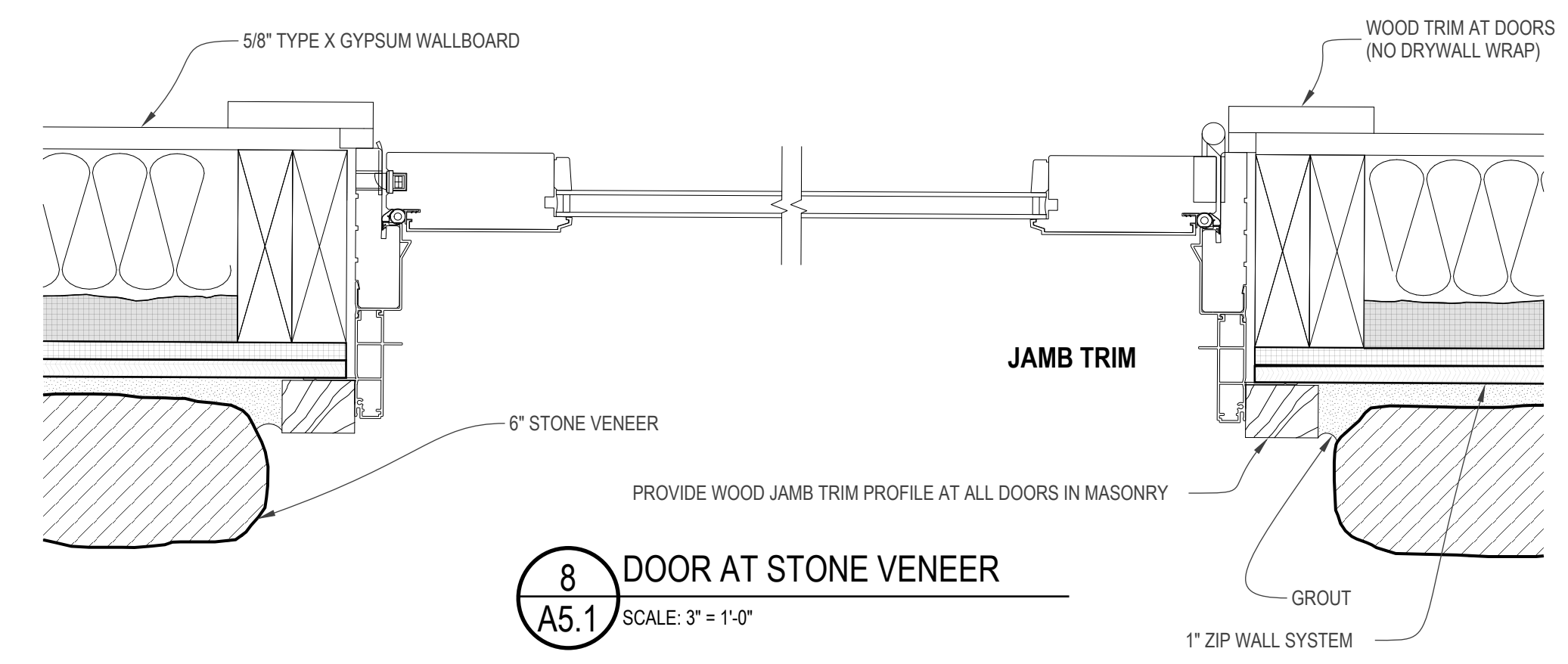
1
A5.1 TYPICAL DOOR ELEVATION
SCALE: 1" = 1'-0"



6
A5.1 DOOR AT STONE VENEER
SCALE: 1" = 1'-0"



7
A5.1 WINDOW AT STONE VENEER
SCALE: 3" = 1'-0"



8
A5.1 DOOR AT STONE VENEER
SCALE: 3" = 1'-0"

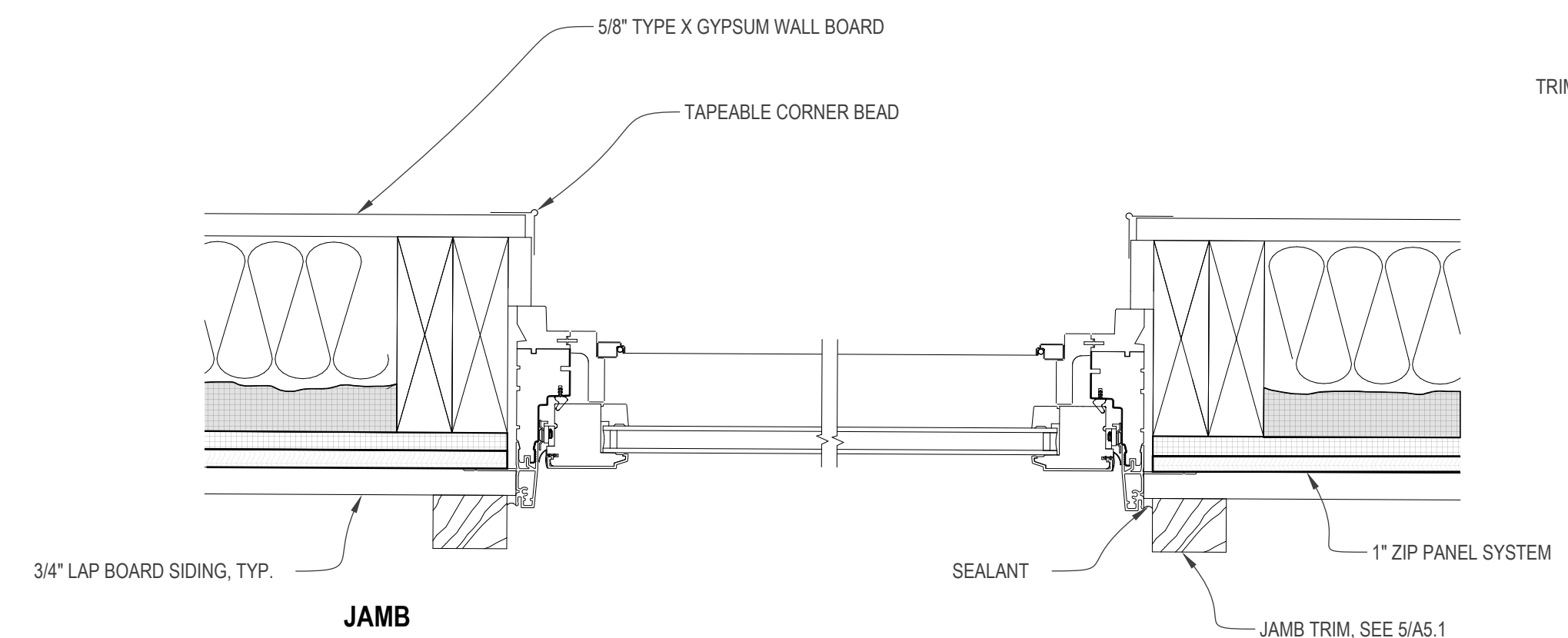


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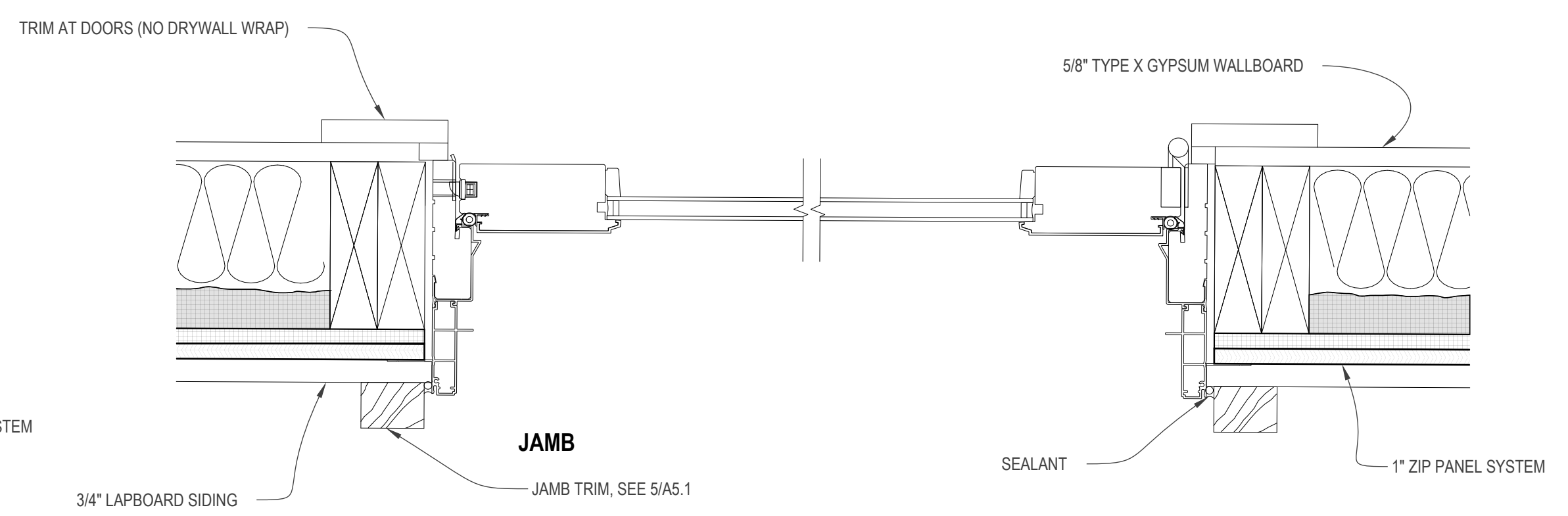
PRIER RESIDENCE
 1243 RED DRAW - LOT 15, FILING 11 CORDILLERA
 EAGLE COUNTY, COLORADO

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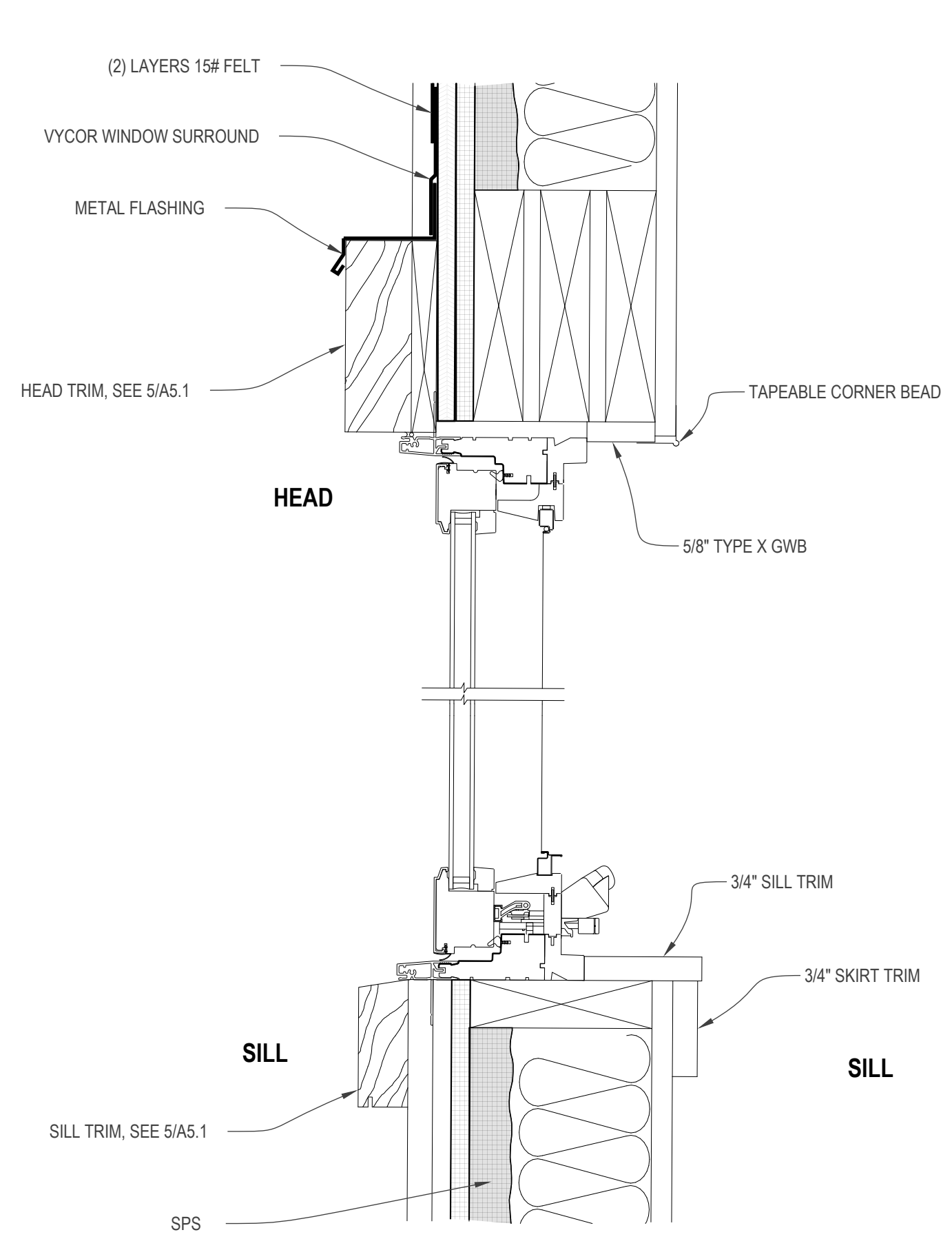
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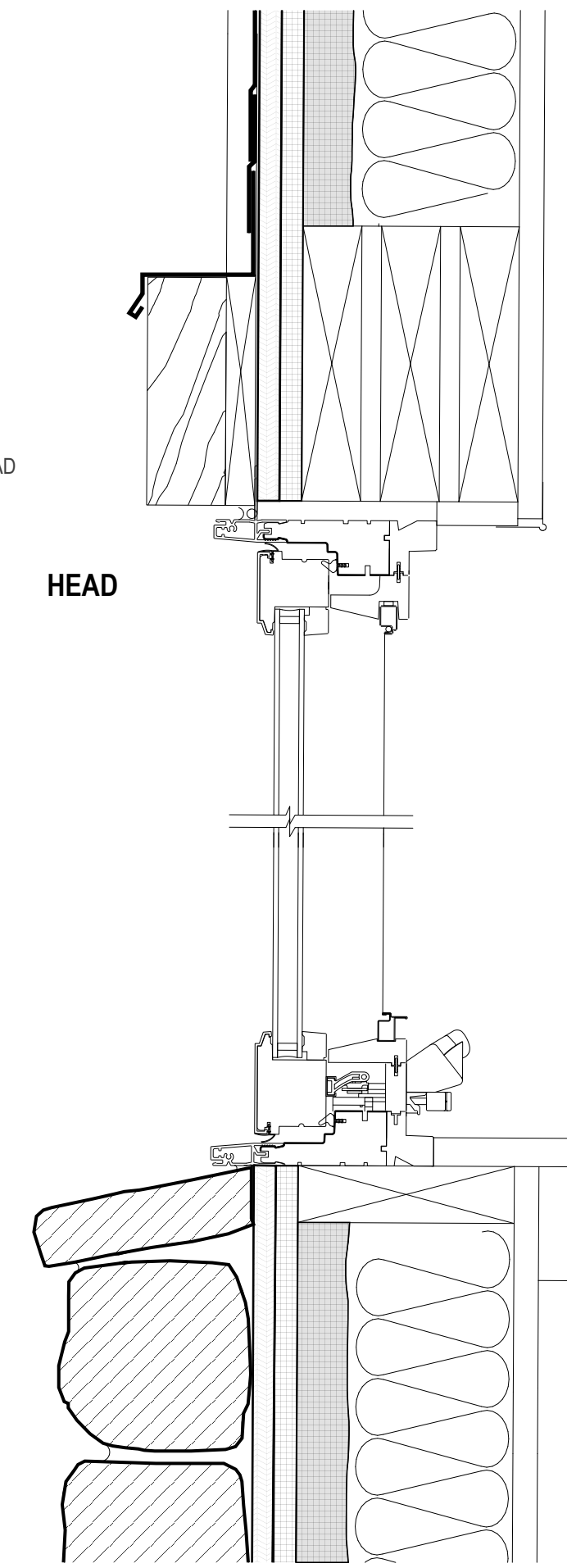
1 TYPICAL WINDOW JAMB
A5.2 SCALE: 3" = 1'-0"



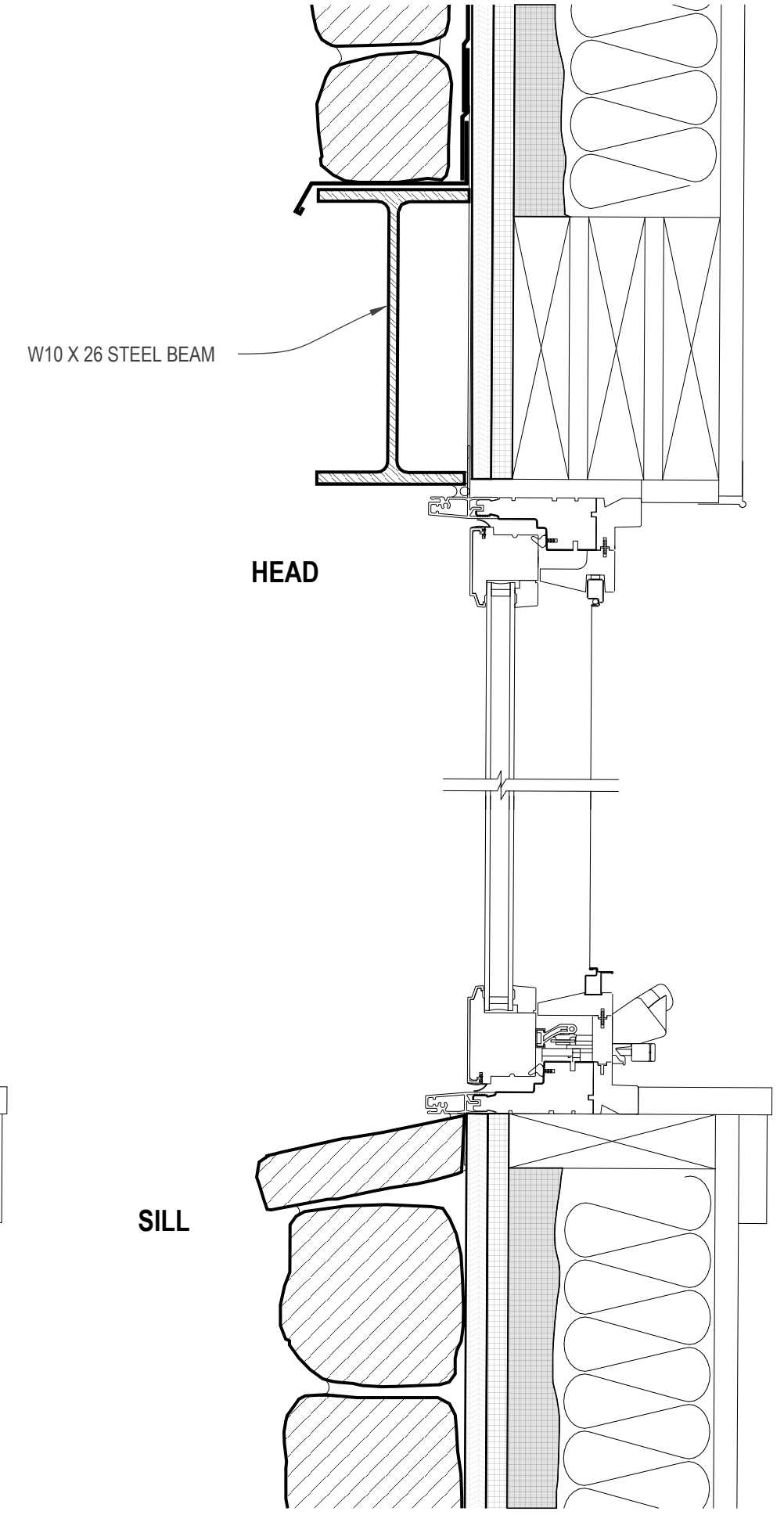
2 TYPICAL DOOR JAMB
A5.2 SCALE: 3" = 1'-0"



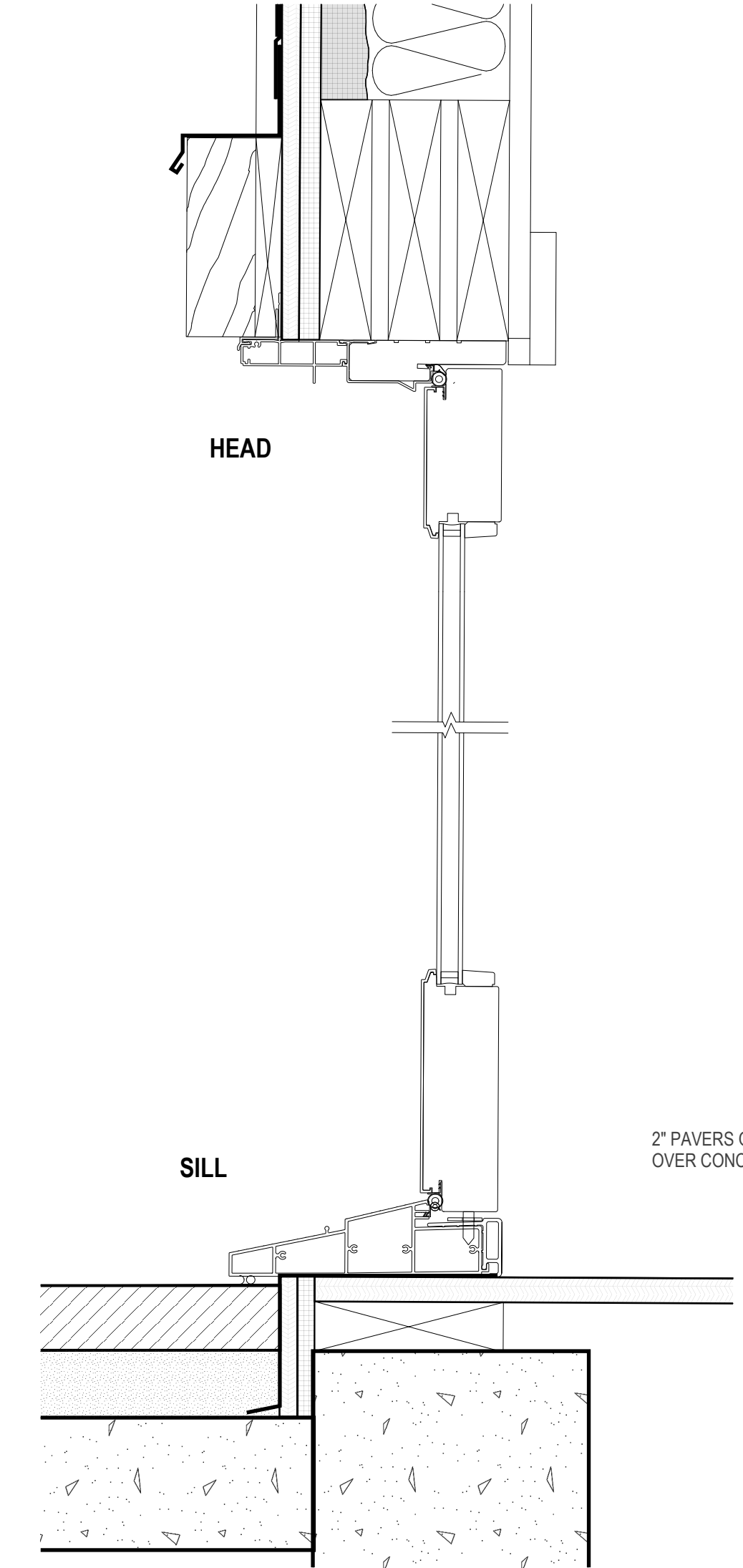
3 TYPICAL WINDOW HEAD / SILL
A5.2 SCALE: 3" = 1'-0"



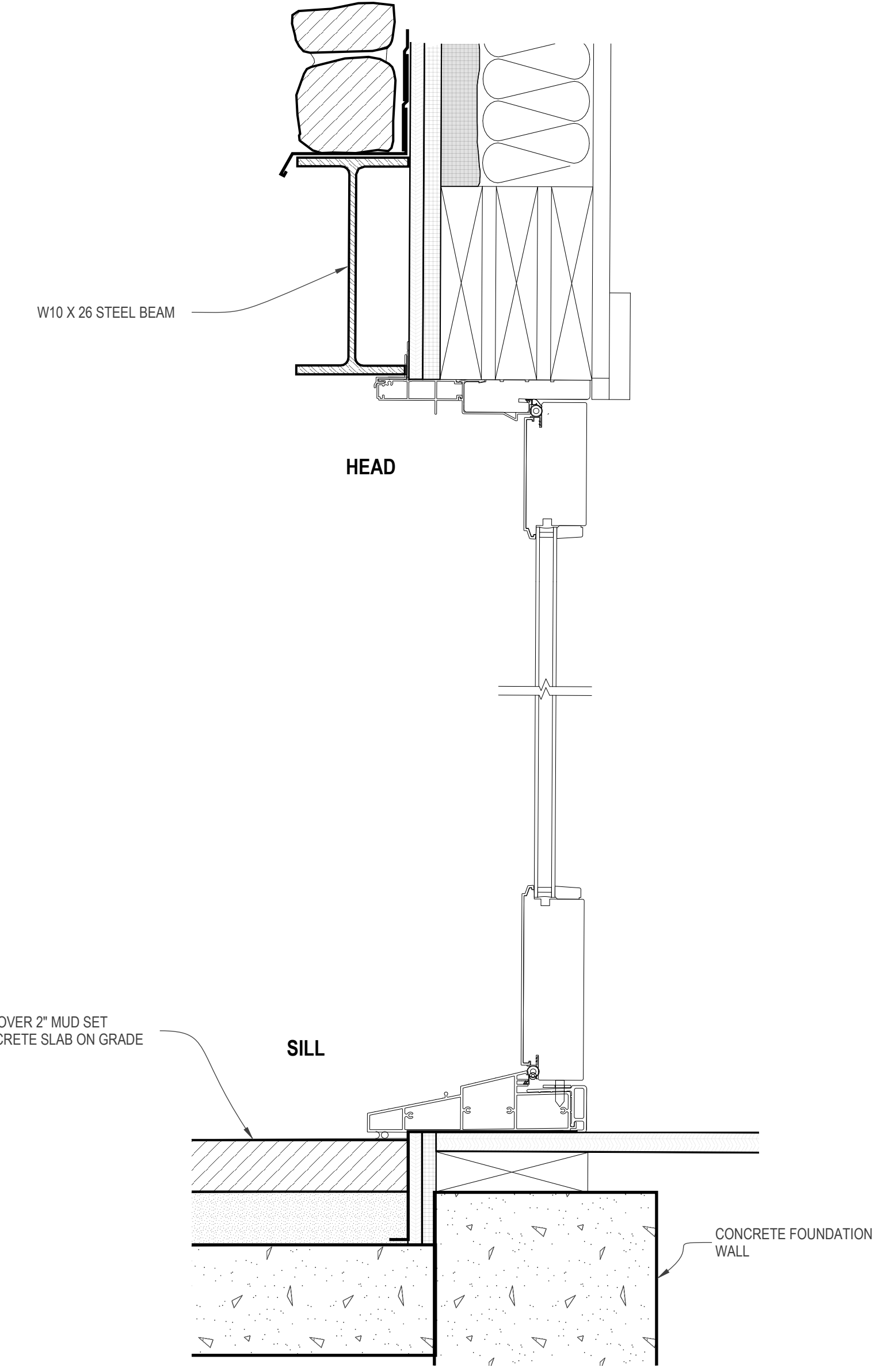
4 WINDOW AT STONE WAINSCOT
A5.2 SCALE: 3" = 1'-0"



5 WINDOW AT STONE VENEER
A5.2 SCALE: 3" = 1'-0"



6 TYPICAL DOOR HEAD / SILL
A5.2 SCALE: 3" = 1'-0"



7 DOOR AT STONE VENEER
A5.2 SCALE: 3" = 1'-0"



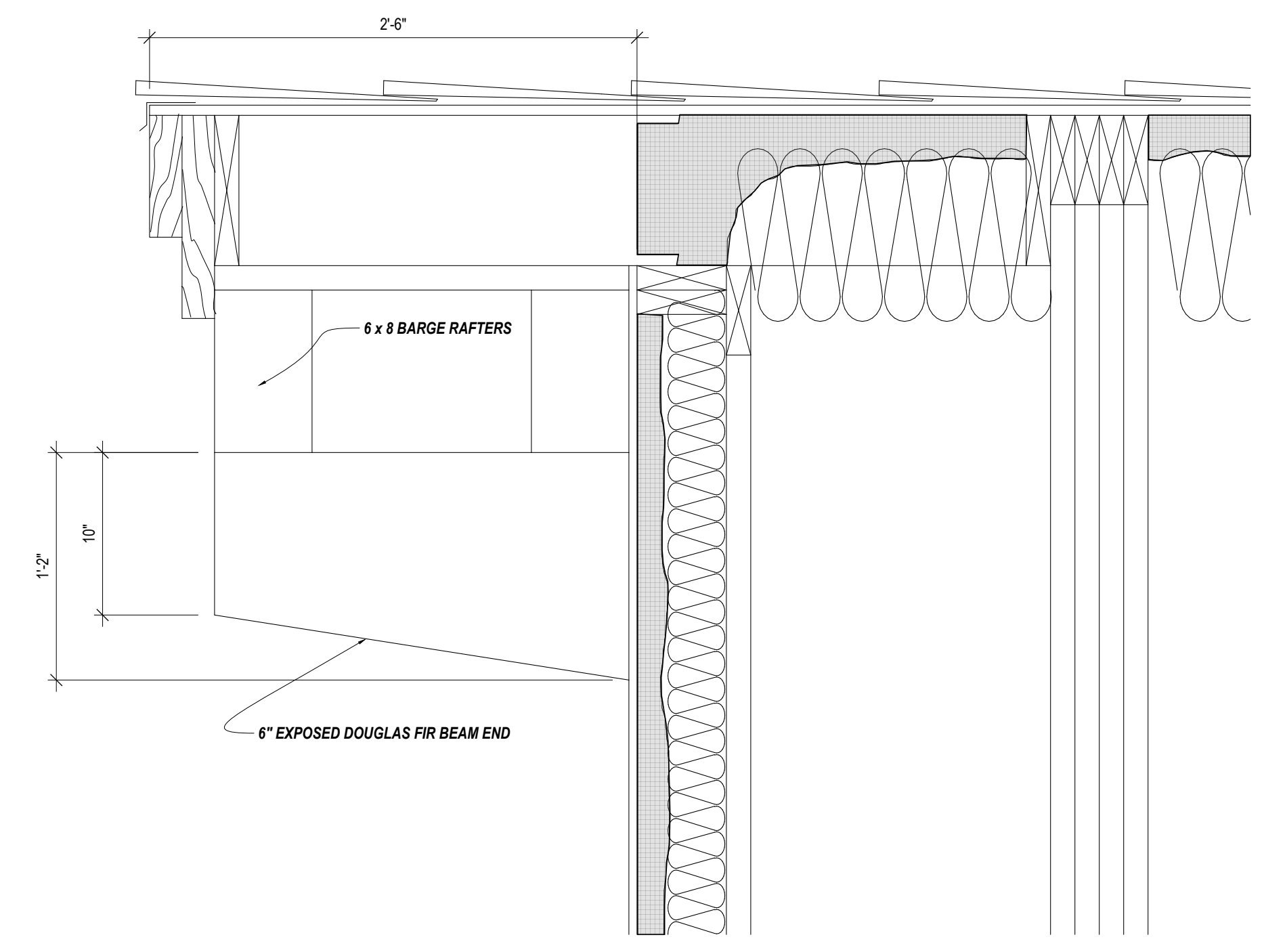
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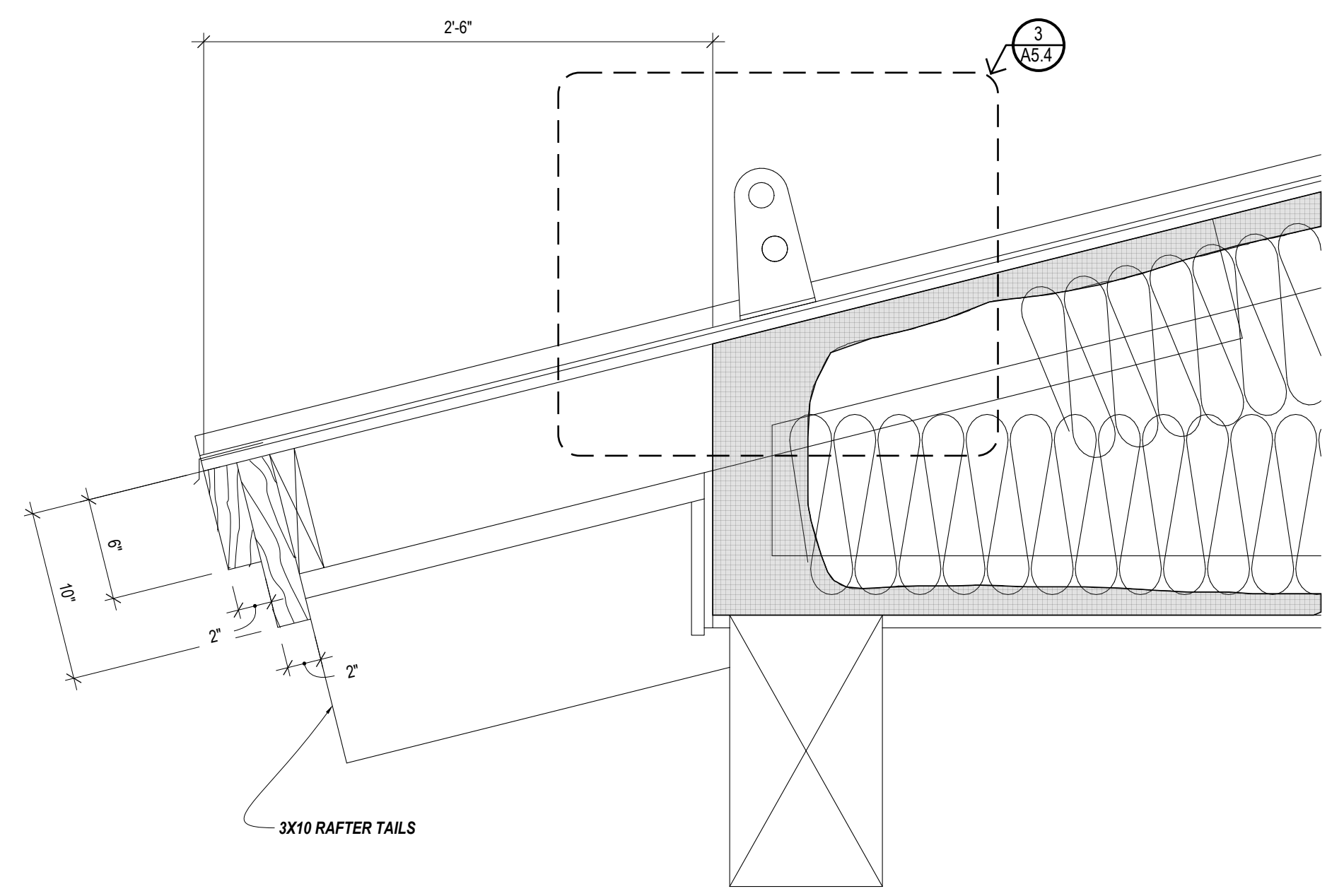
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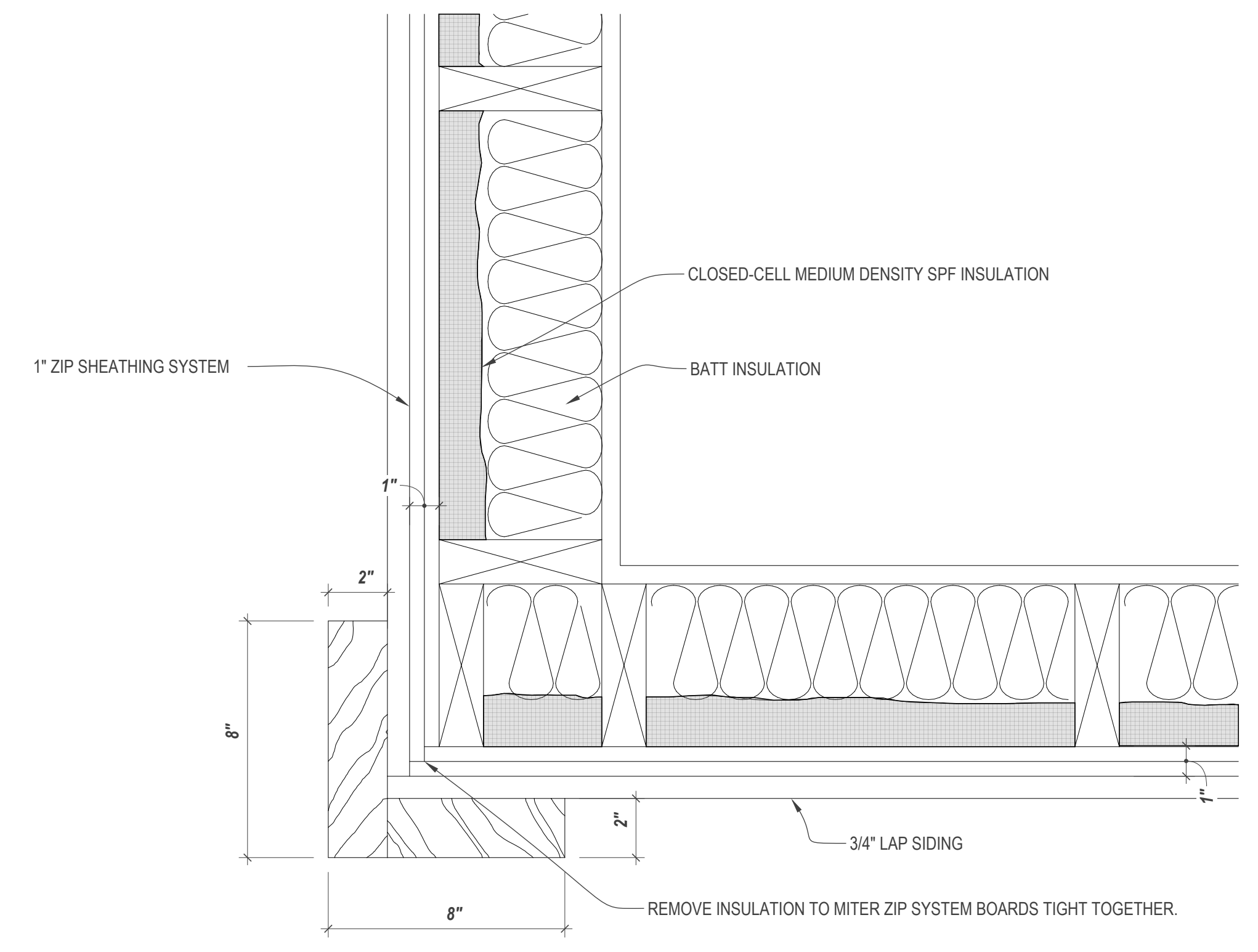
A5.3
CONSTRUCTION
DETAILS



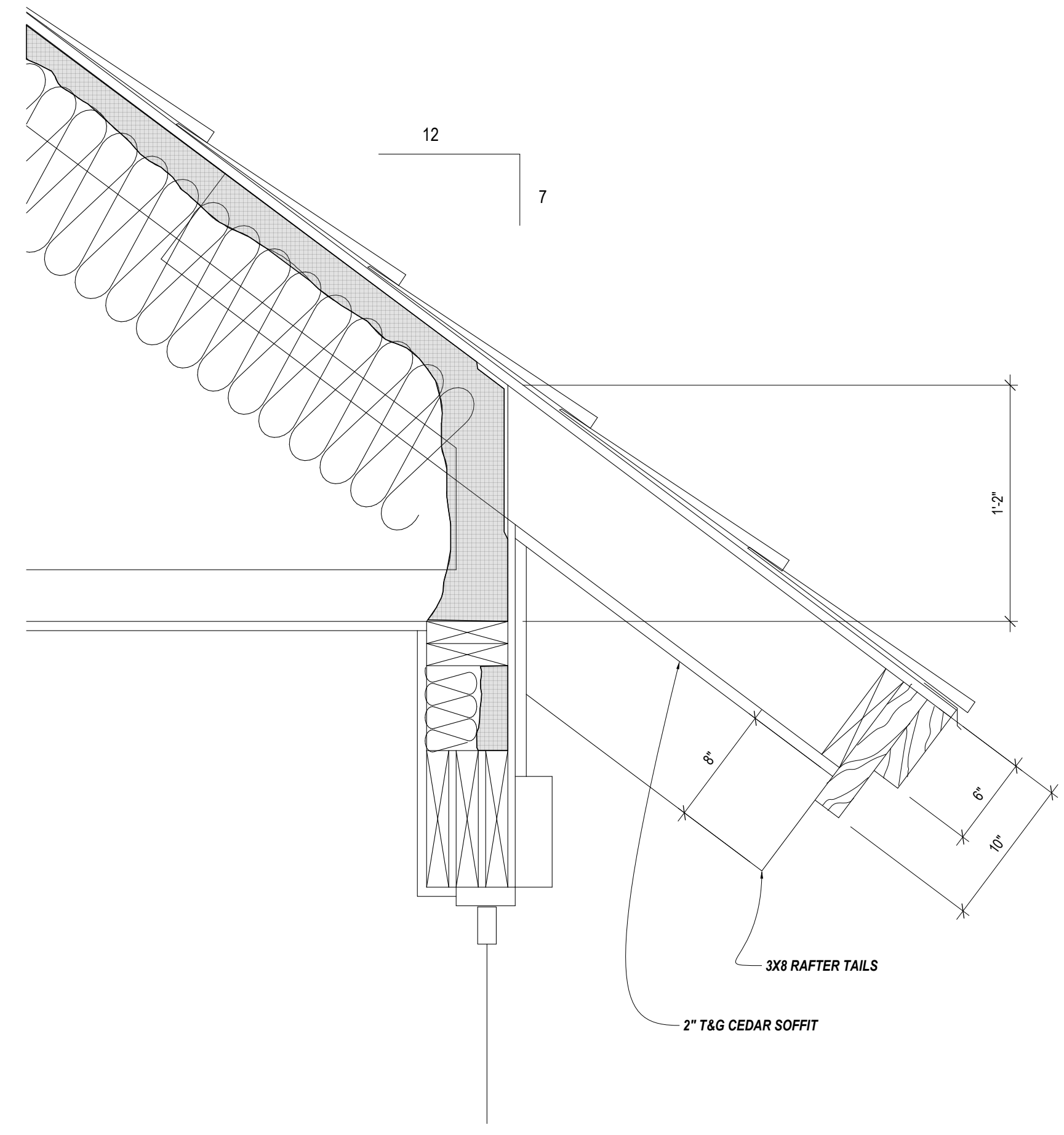
1 RAKE / GABLE BEAM DETAIL
A5.3 SCALE: 1 1/2" = 1'-0"



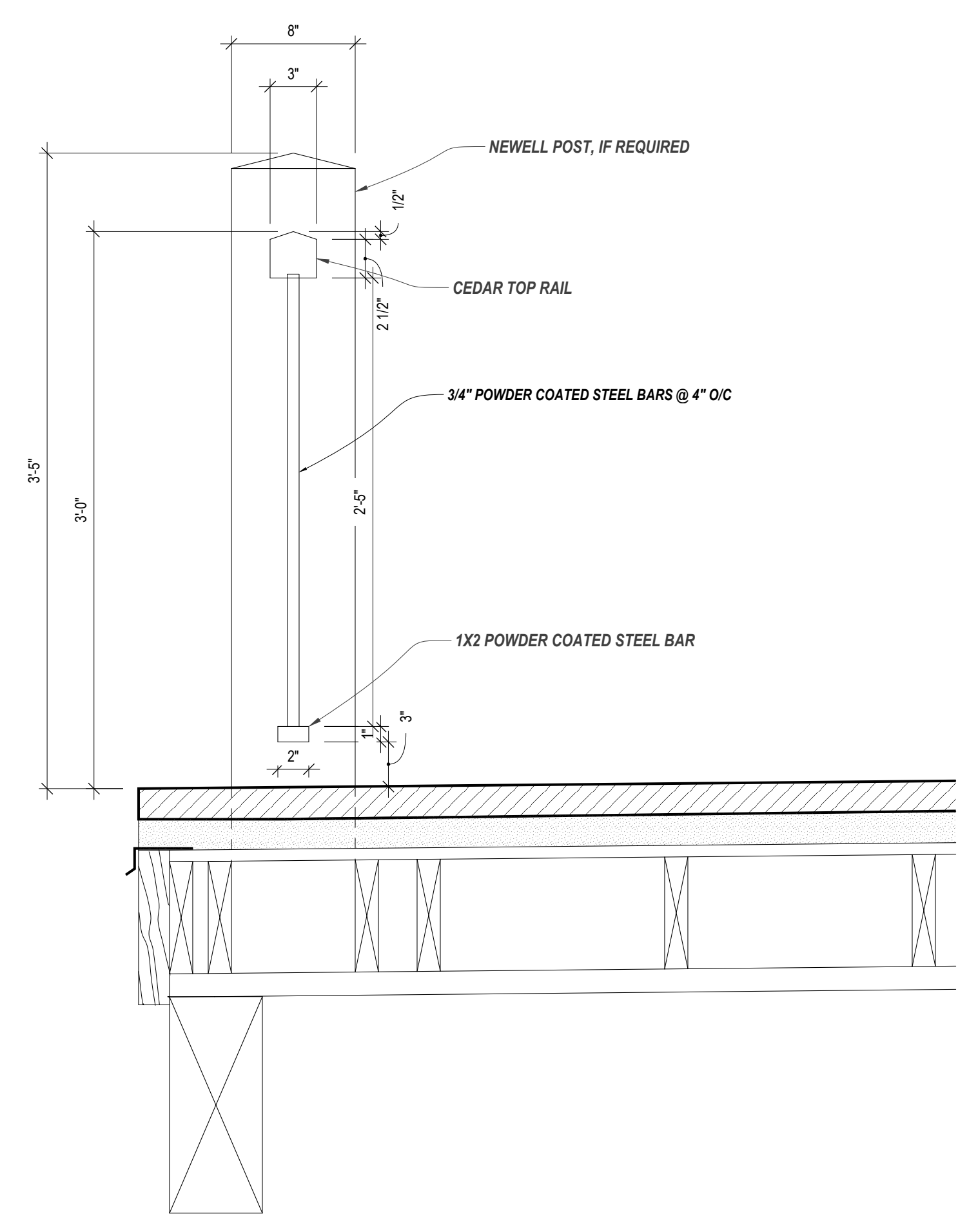
2 3:12 ROOF EAVE
A5.3 SCALE: 1 1/2" = 1'-0"



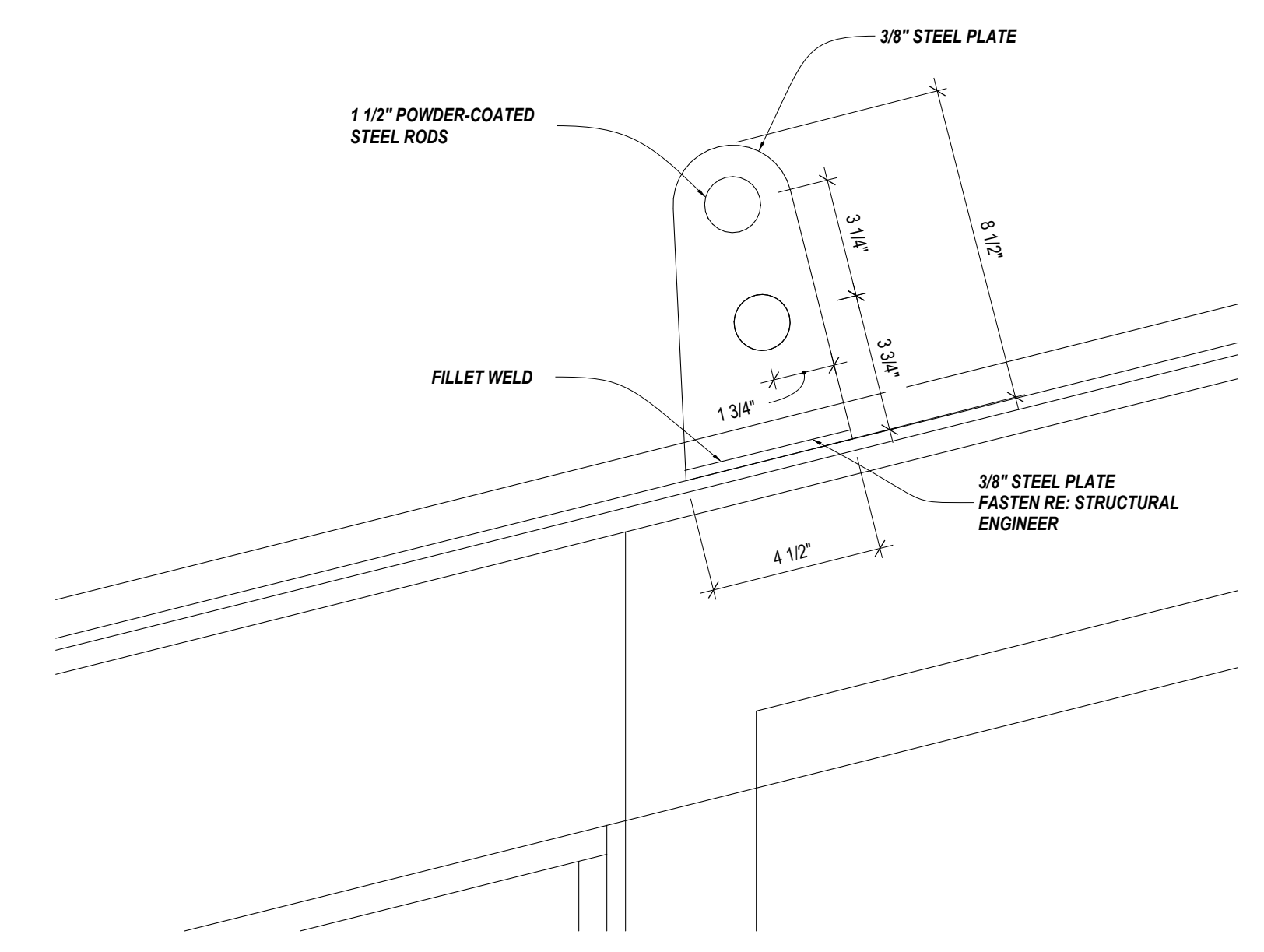
3 CORNER BOARD DETAIL
A5.3 SCALE: 3" = 1'-0"



4 8:12 ROOF EAVE
A5.3 SCALE: 1 1/2" = 1'-0"



5 HANDRAIL / PATIO DETAIL
A5.3 SCALE: 1 1/2" = 1'-0"



6 SNOW GUARD
A5.3 SCALE: 3" = 1'-0"

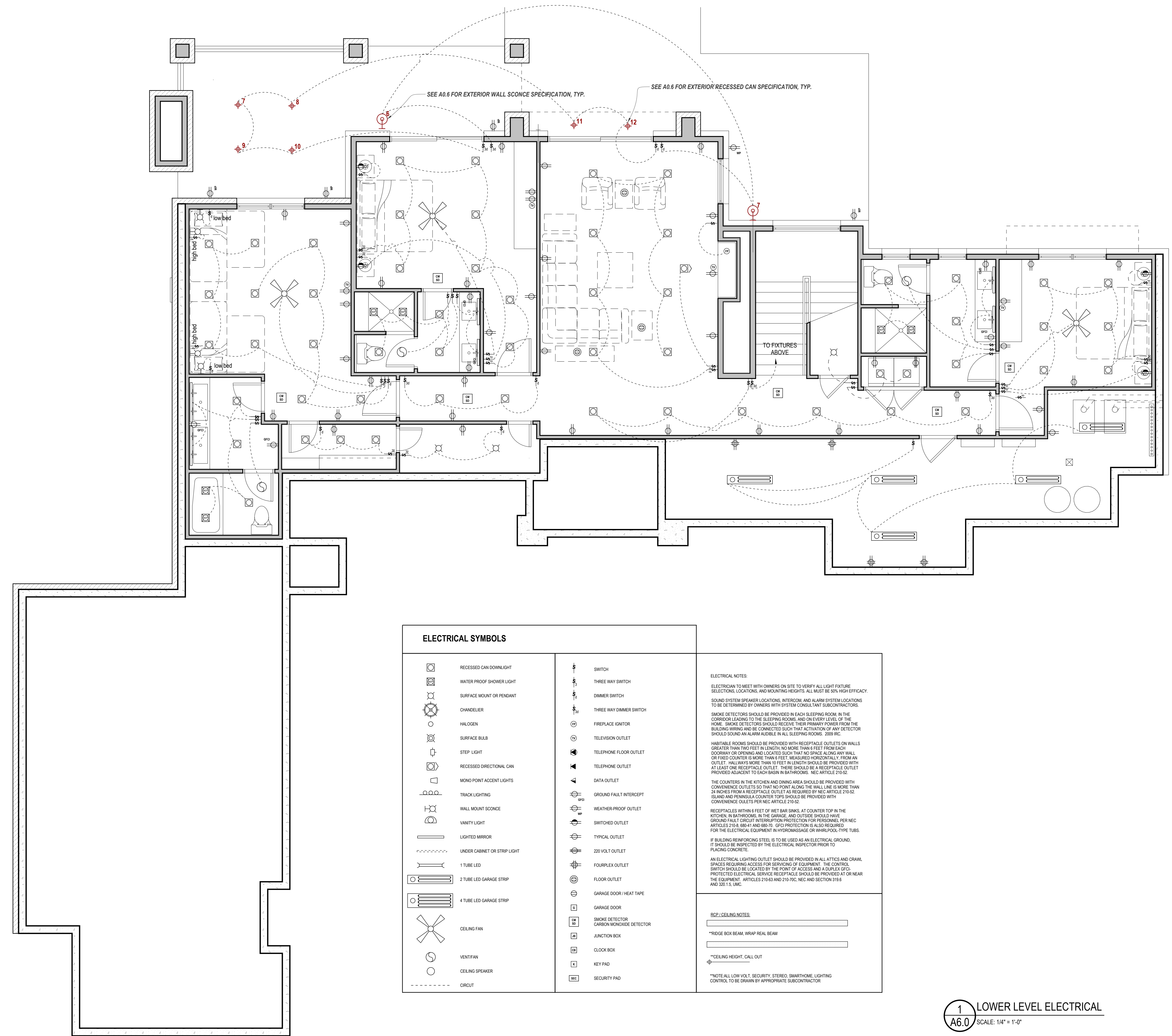


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ELECTRICAL SYMBOLS		ELECTRICAL NOTES:	
	RECESSED CAN DOWNLIGHT		SWITCH
	WATER PROOF SHOWER LIGHT		THREE WAY SWITCH
	SURFACE MOUNT OR PENDANT		DIMMER SWITCH
	CHANDELIER		THREE WAY DIMMER SWITCH
	HALOGEN		FIREPLACE IGNITOR
	SURFACE BULB		TELEVISION OUTLET
	STEP LIGHT		TELEPHONE FLOOR OUTLET
	RECESSED DIRECTIONAL CAN		TELEPHONE OUTLET
	MONO POINT ACCENT LIGHTS		DATA OUTLET
	TRACK LIGHTING		GROUND FAULT INTERCEPT
	WALL MOUNT SCONCE		WEATHER-PROOF OUTLET
	VANITY LIGHT		SWITCHED OUTLET
	LIGHTED MIRROR		TYPICAL OUTLET
	UNDER CABINET OR STRIP LIGHT		220 VOLT OUTLET
	1 TUBE LED		FOURPLEX OUTLET
	2 TUBE LED GARAGE STRIP		FLOOR OUTLET
	4 TUBE LED GARAGE STRIP		GARAGE DOOR / HEAT TAPE
	CEILING FAN		GARAGE DOOR
	VENTIFAN		SMOKE DETECTOR
	CEILING SPEAKER		CARBON MONOXIDE DETECTOR
	CIRCUIT		JUNCTION BOX
			CLOCK BOX
			KEY PAD
			SECURITY PAD

ELECTRICIAN TO MEET WITH OWNERS ON SITE TO VERIFY ALL LIGHT FIXTURE SELECTIONS, LOCATIONS, AND MOUNTING HEIGHTS. ALL MUST BE FOR HIGH EFFICACY. SOUND SYSTEM SPEAKER LOCATIONS, INTERCOM, AND ALARM SYSTEM LOCATIONS TO BE DETERMINED BY OWNERS WITH SYSTEM CONSULTANT SUBCONTRACTORS.

SMOKE DETECTORS SHOULD BE PROVIDED IN EACH SLEEPING ROOM, IN THE CORRIDOR LEADING TO THE SLEEPING ROOMS, AND ON EVERY LEVEL OF THE HOME. SMOKE DETECTORS SHOULD RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BE CONNECTED SUCH THAT ACTIVATION OF ANY DETECTOR SHOULD SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS. 2009 IRC.

HABITABLE ROOMS SHOULD BE PROVIDED WITH RECEPTACLE OUTLETS ON WALLS GREATER THAN TWO FEET IN LENGTH, NO MORE THAN 6 FEET FROM EACH DOORWAY OR OPENING AND LOCATED SUCH THAT NO SPACE ALONG ANY WALL OR FRIED COUNTER IS MORE THAN 6 FEET, MEASURED HORIZONTALLY, FROM AN OUTLET. HALLWAYS MORE THAN 10 FEET IN LENGTH SHOULD BE PROVIDED WITH AT LEAST ONE RECEPTACLE OUTLET. THERE SHOULD BE A RECEPTACLE OUTLET PROVIDED ADJACENT TO EACH BASIN IN BATHROOMS. NEC ARTICLE 210.52.

THE COUNTERTOPS IN THE KITCHEN AND DINING AREA SHOULD BE PROVIDED WITH CONVENIENCE OUTLETS SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24 INCHES FROM A RECEPTACLE OUTLET AS REQUIRED BY NEC ARTICLE 210.52. ISLAND AND PENINSULA COUNTERTOP TOPS SHOULD BE PROVIDED WITH CONVENIENCE OUTLETS PER NEC ARTICLE 210.52.

RECEPTACLES WITHIN 6 FEET OF WET BAR SINKS, AT COUNTER TOP IN THE KITCHEN, IN BATHROOMS, IN THE GARAGE, AND OUTSIDE SHOULD HAVE GROUND FAULT CIRCUIT INTERRUPTION PROTECTION FOR PERSONNEL PER NEC ARTICLES 210.8, 680.41 AND 680.70. GFCI PROTECTION IS ALSO REQUIRED FOR THE ELECTRICAL EQUIPMENT IN HYDROMASSAGE OR WHIRLPOOL-TYPE TUBS.

IF BUILDING REINFORCING STEEL IS TO BE USED AS AN ELECTRICAL GROUND, IT SHOULD BE INSPECTED BY THE ELECTRICAL INSPECTOR PRIOR TO PLACING CONCRETE.

AN ELECTRICAL LIGHTING OUTLET SHOULD BE PROVIDED IN ALL ATTICS AND CRAWL SPACES REQUIRING ACCESS FOR SERVICING OF EQUIPMENT. THE CONTROL SWITCH SHOULD BE LOCATED BY THE POINT OF ACCESS; AND A DUPLEX GFCI PROTECTED ELECTRICAL SERVICE RECEPTACLE SHOULD BE PROVIDED AT OR NEAR THE EQUIPMENT. ARTICLES 210.43 AND 210.70C, NEC AND SECTION 319.6 AND 320.1.5, UMC.

BCP / CEILING NOTES:

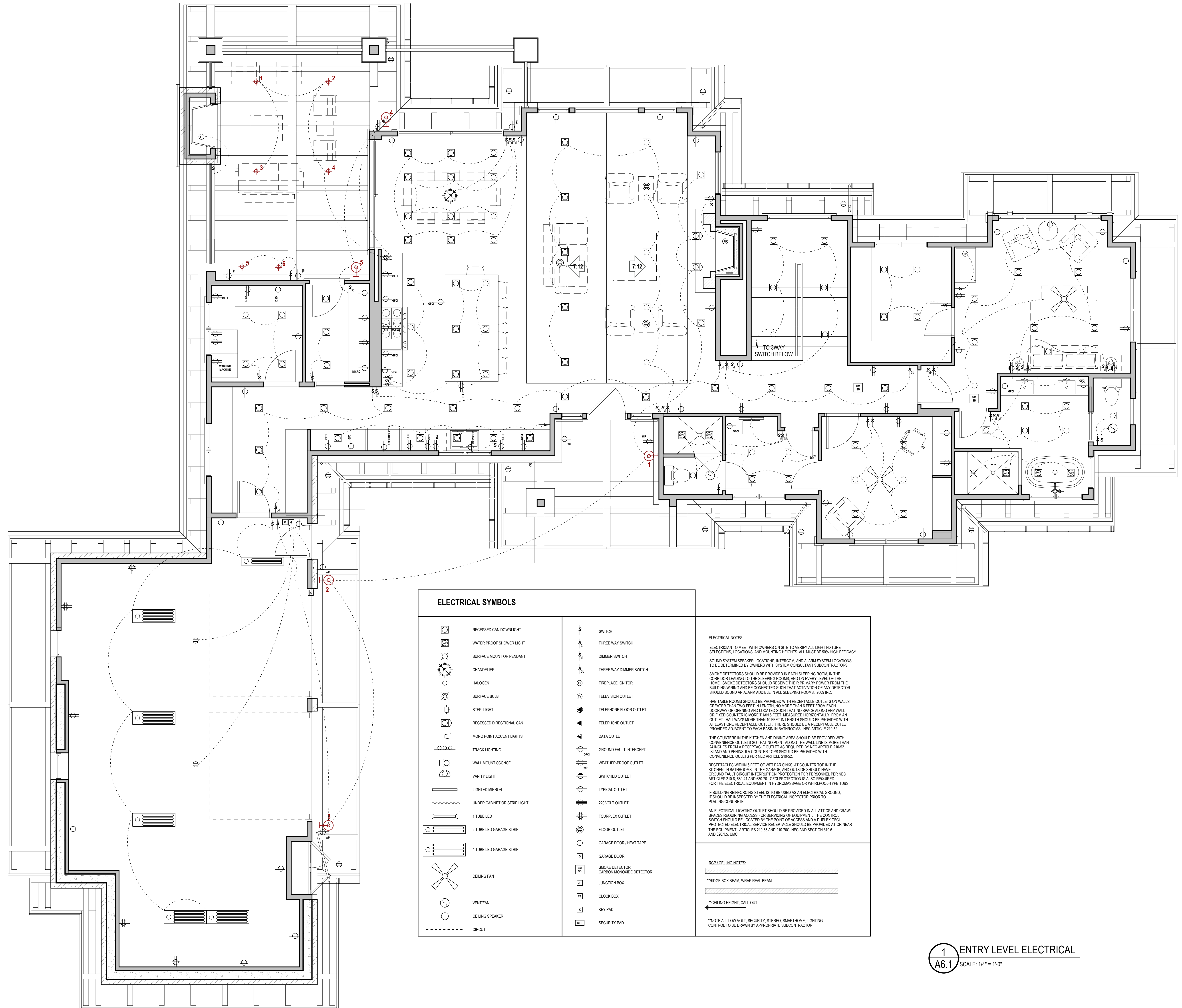
*RIDGE BOX BEAM, WRAP REAL BEAM

*CEILING HEIGHT, CALL OUT

**NOTE ALL LOW VOLT, SECURITY, STEREO, SMARTHOME, LIGHTING CONTROL TO BE DRAWN BY APPROPRIATE SUBCONTRACTOR

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ELECTRICAL SYMBOLS		ELECTRICAL NOTES:
	RECESSED CAN DOWNLIGHT	<p>ELECTRICIAN TO MEET WITH OWNERS ON SITE TO VERIFY ALL LIGHT FIXTURE SELECTIONS, LOCATIONS, AND MOUNTING HEIGHTS. ALL MUST BE 80% HIGH EFFICACY.</p> <p>SOUND SYSTEM SPEAKER LOCATIONS, INTERCOM, AND ALARM SYSTEM LOCATIONS TO BE DETERMINED BY OWNERS WITH SYSTEM CONSULTANT SUBCONTRACTORS.</p> <p>SMOKE DETECTORS SHOULD BE PROVIDED IN EACH SLEEPING ROOM, IN THE CORRIDOR LEADING TO THE SLEEPING ROOMS, AND ON EVERY LEVEL OF THE HOME. SMOKE DETECTORS SHOULD RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BE CONNECTED SUCH THAT ACTIVATION OF ANY DETECTOR SHOULD SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS. 2009 IRC.</p> <p>HABITABLE ROOMS SHOULD BE PROVIDED WITH RECEPTACLE OUTLETS ON WALLS GREATER THAN TWO FEET IN LENGTH, NO MORE THAN 6 FEET FROM EACH DOORWAY OR OPENING AND LOCATED SUCH THAT NO SPACE ALONG ANY WALL OR FRIED COUNTER IS MORE THAN 6 FEET, MEASURED HORIZONTALLY, FROM AN OUTLET. HALLWAYS MORE THAN 10 FEET IN LENGTH SHOULD BE PROVIDED WITH AT LEAST ONE RECEPTACLE OUTLET. THERE SHOULD BE A RECEPTACLE OUTLET PROVIDED ADJACENT TO EACH BASIN IN BATHROOMS. NEC ARTICLE 210.52.</p> <p>THE COUNTERTOPS IN THE KITCHEN AND DINING AREA SHOULD BE PROVIDED WITH CONVENIENCE OUTLETS SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24 INCHES FROM A RECEPTACLE OUTLET AS REQUIRED BY NEC ARTICLE 210.52. ISLAND AND PENINSULA COUNTERTOP SHOULD BE PROVIDED WITH CONVENIENCE OUTLETS PER NEC ARTICLE 210.52.</p> <p>RECEPTACLES WITHIN 6 FEET OF WET BAR SINKS, AT COUNTER TOP IN THE KITCHEN, IN BATHROOMS, IN THE GARAGE, AND OUTSIDE SHOULD HAVE GROUND FAULT CIRCUIT INTERRUPTION PROTECTION FOR PERSONNEL PER NEC ARTICLES 210.8, 680.41 AND 680.70. GFCI PROTECTION IS ALSO REQUIRED FOR THE ELECTRICAL EQUIPMENT IN HYDROMASSAGE OR WHIRLPOOL-TYPE TUBS.</p> <p>IF BUILDING REINFORCING STEEL IS TO BE USED AS AN ELECTRICAL GROUND, IT SHOULD BE INSPECTED BY THE ELECTRICAL INSPECTOR PRIOR TO PLACING CONCRETE.</p> <p>AN ELECTRICAL LIGHTING OUTLET SHOULD BE PROVIDED IN ALL ATTICS AND CRAWL SPACES REQUIRING ACCESS FOR SERVICING OF EQUIPMENT. THE CONTROL SWITCH SHOULD BE LOCATED BY THE POINT OF ACCESS; AND A DUPLEX GFCI PROTECTED ELECTRICAL SERVICE RECEPTACLE SHOULD BE PROVIDED AT OR NEAR THE EQUIPMENT. ARTICLES 210.43 AND 210.70C, NEC AND SECTION 319.6 AND 320.1.5, IBC.</p>
	WATER PROOF SHOWER LIGHT	
	SURFACE MOUNT OR PENDANT	
	CHANDELIER	
	HALOGEN	
	SURFACE BULB	
	STEP LIGHT	
	RECESSED DIRECTIONAL CAN	
	MONO POINT ACCENT LIGHTS	
	TRACK LIGHTING	
	WALL MOUNT SCONCE	
	VANITY LIGHT	
	LIGHTED MIRROR	
	UNDER CABINET OR STRIP LIGHT	
	1 TUBE LED	
	2 TUBE LED GARAGE STRIP	
	4 TUBE LED GARAGE STRIP	
	CEILING FAN	
	VENTFAN	
	CEILING SPEAKER	
	CIRCUIT	
	SWITCH	
	THREE WAY SWITCH	
	DIMMER SWITCH	
	THREE WAY DIMMER SWITCH	
	FIREPLACE IGNITOR	
	TELEVISION OUTLET	
	TELEPHONE FLOOR OUTLET	
	TELEPHONE OUTLET	
	DATA OUTLET	
	GROUND FAULT INTERCEPT	
	WEATHER-PROOF OUTLET	
	SWITCHED OUTLET	
	TYPICAL OUTLET	
	220 VOLT OUTLET	
	FOURPLEX OUTLET	
	FLOOR OUTLET	
	GARAGE DOOR / HEAT TAPE	
	GARAGE DOOR	
	SMOKE DETECTOR CARBON MONOXIDE DETECTOR	
	JUNCTION BOX	
	CLOCK BOX	
	KEY PAD	
	SECURITY PAD	
		<p>BCP / CEILING NOTES:</p> <p>*RIDGE BOX BEAM, WRAP REAL BEAM</p> <p>*CEILING HEIGHT, CALL OUT</p> <p>**NOTE ALL LOW VOLT, SECURITY, STEREO, SMARTHOME, LIGHTING CONTROL TO BE DRAWN BY APPROPRIATE SUBCONTRACTOR</p>

1 ENTRY LEVEL ELECTRICAL
A6.1 SCALE: 1/4" = 1'-0"

GENERAL

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION INCLUDING, BUT NOT LIMITED TO SHORING, BRACING, SLOPE STABILITY AND TEMPORARY EXCAVATION. THE CONTRACTOR AT HIS DISCRETION SHALL EMPLOY A LICENSED PROFESSIONAL TO DESIGN TEMPORARY SYSTEMS.
2. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ALL APPLICABLE JOB RELATED SAFETY STANDARDS SUCH AS OSHA SHALL BE FOLLOWED.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH WORK. VARIATIONS BETWEEN THE PLANS AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.

DESIGN CRITERIA

1. GOVERNING BUILDING CODE: INTERNATIONAL CODE COUNCIL (ICC) "INTERNATIONAL BUILDING CODE 2015"
2. REFERENCE CODES;
 - A. AMERICAN CONCRETE INSTITUTE (ACI) "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE", ACI 318
 - B. AMERICAN INSTITUTE FOR STEEL CONSTRUCTION (AISC) "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS, AISC 360 "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", AISC 305
 - C. AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES", ASCE 7
 - D. AMERICAN WELDING SOCIETY (AWS) " STRUCTURAL WELDING CODE" AWS D1.1
 - E. AMERICAN WOOD COUNCIL "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", NDS
3. LOADS
 - A. FLOOR LIVE LOADS40 psf
 - B. ROOF SNOW LOAD65 psf
 - C. WIND LOADS
 - BASIC WIND SPEED, v115 mph
 - WIND EXPOSURE CATEGORY.....B
 - TOPOGRAPHIC FACTOR, Kt1.0
 - IMPORTANCE FACTOR1.0
 - D. SEISMIC LOADS
 - OCCUPANCY CATEGORY1.0
 - SITE CLASSD
 - SEISMIC DESIGN CATEGORYC
 - Sds0.329
 - Sd10.114
 - IMPORTANCE FACTOR1.0

SUBMITTALS

1. SUBMITTALS OF SHOP DRAWINGS MILL TESTS, AND PRODUCT DATA SHALL BE MADE PRIOR TO CONSTRUCTION. SUBMITTAL SHALL BE MADE IN DUE TIME TO ALLOW FOR A TEN (10) WORKING DAY TURNAROUND.
2. SHOP DRAWING REVIEW BY THE ENGINEER IS FOR GENERAL CONFORMANCE WITH CONTRACT DOCUMENTS ONLY. DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER AND SHALL BE VERIFIED BY THE CONTRACTOR. MARKINGS OR COMMENTS SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR FROM COMPLIANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. WHERE SHOP DRAWINGS DIFFER FROM OR ADD TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, THE ENGINEER SHALL REVIEW AND MAKE REQUIRED REVISIONS.
3. DEFERRED SUBMITTALS OR ITEMS DESIGNED BY OTHERS SHALL INCLUDE CALCULATIONS, SHOP DRAWINGS AND PRODUCT DATA AND SHALL BE SUBMITTED PRIOR TO CONSTRUCTION. REVIEW OF DEFERRED SUBMITTALS BY THE ENGINEER DOES NOT RELIEVE CONTRACTOR OR DESIGNER FOR COMPLIANCE WITH THE DESIGN CRITERIA AND COMPATIBILITY WITH THE PRIMARY STRUCTURE. DEFERRED SUBMITTALS INCLUDE BUT ARE NOT LIMITED TO;

PREFABRICATED WOOD TRUSSES
OPEN WEB STEEL JOISTS

INSPECTIONS

1. SPECIAL INSPECTIONS SHALL BE MADE IN ACCORDANCE WITH IBC 2015 SECTION 1704. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING SPECIAL INSPECTIONS IN A TIMELY MANNER. SPECIAL INSPECTORS MUST BE RECOGNIZED AND APPROVED BY THE BUILDING OFFICIAL. SPECIAL INSPECTION REPORTS SHALL BE SUBMITTED TO THE ENGINEER TO RESOLVE ANY DISCREPANCIES.
2. STRUCTURAL OBSERVATIONS MAY BE PERFORMED BY THE ENGINEER. A REPORT WILL BE ISSUED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. STRUCTURAL OBSERVATIONS ARE NOT A SUBSTITUTE FOR SPECIAL INSPECTIONS. OBSERVATIONS WILL BE MADE TO DETERMINE GENERAL CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS AND DOES NOT RELIEVE THE CONTRACTOR FOR COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS.

SOILS & FOUNDATIONS

1. REFERENCE GEOTECHNICAL REPORT BY KUMAR & ASSOCIATES, INC. REPORT NO. 21-7-457 DATED 7-22-21.
ALLOWABLE BEARING PRESSURE3000 psf
2. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT AND SHALL FOLLOW ALL RECOMMENDATIONS PROVIDED THEREIN.
3. THE GEOTECHNICAL ENGINEER SHALL INSPECT ALL EXCAVATIONS AND FILL PLACEMENT TO ENSURE CONFORMANCE WITH THE SPECIFICATIONS. ASSUMED VALUES SHALL BE VERIFIED BY A GEOTECHNICAL ENGINEER OR THE BUILDING OFFICIAL PRIOR TO PLACING CONCRETE.
4. FOOTING EXCAVATIONS SHALL BE CLEAN AND FREE FROM LOOSE DEBRIS, STANDING WATER, OR UN-COMPACTED MATERIAL AT TIME OF CONCRETE PLACEMENT.
5. FOUNDATIONS SHALL BEAR ON 36" STRUCTURAL FILL PER THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.

CONCRETE

1. CONCRETE SHALL BE DESIGNED, SUPPLIED AND CONSTRUCTED IN ACCORDANCE WITH ACI 318 LATEST EDITION.
2. CONCRETE STRENGTH f_c @ 28 DAYS SHALL CONFORM TO THE FOLLOWING;
 - FOOTINGS, WALLS f_c = 3000 psi
 - FLATWORK, SLABS f_c = 4000 psi
3. PORTLAND CEMENT SHALL CONFORM TO ASTM C-150 TYPE I/II.
4. WATER FOR MIXING CONCRETE SHALL CONFORM TO ASTM C1602.
5. COURSE AND FINE AGGREGATE SHALL CONFORM TO ASTM C-33.
6. SLUMP SHALL CONFORM TO ACI 301 AND SHALL BE TAKEN AT THE POINT OF PLACEMENT. SLUMP SHALL NOT EXCEED 4 INCHES.
7. FLYASH SHALL CONFORM TO ASTM C618 CLASS C OR F. FLYASH SHALL NOT EXCEED 20% OF THE TOTAL CEMENTITIOUS MATERIAL.
8. HOT WEATHER PLACEMENT SHALL CONFORM TO ACI 305, "SPECIFICATION FOR HOT WEATHER CONCRETING". COLD WEATHER PLACEMENT SHALL CONFORM TO ACI 306, "GUIDE TO COLD WEATHER CONCRETING".
9. ADMIXTURES FOR WATER REDUCTION AND SETTING TIME MODIFICATION SHALL BE IN CONFORMANCE WITH ASTM C494.
10. ADMIXTURES FOR USE IN FLOWING CONCRETE SHALL CONFORM TO ASTM C1017.
11. ADMIXTURES SHALL NOT CONTAIN CALCIUM CHLORIDE. CONCRETE SHALL NOT BE PLACED IN CONTACT WITH ALUMINUM.
12. AIR ENTRAINMENT SHALL BE 4.0 - 7.0%. AIR ENTRAINMENT ADMIXTURES SHALL CONFORM TO ASTM C260. W/C RATIO SHALL NOT EXCEED 0.45
13. HEADED STUDS AND HEADED STUD ASSEMBLIES SHALL CONFORM TO ASTM A1044.
14. HIGH STRENGTH NO SHRINK GROUT SHALL BE MASTERBUILDERS 928 OR APPROVED EQUAL.
15. ADHESIVE FOR DRILL & EPOXY ANCHORS SHALL BE HIT RE500 AS MFG. BY HILTI INC. OR APPROVED EQUAL.

STRUCTURAL STEEL

1. STRUCTURAL STEEL DESIGN, FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH AISC STEEL CONSTRUCTION MANUAL, 13TH EDITION.
2. MATERIALS;
 - A. WIDE FLANGE SHAPESASTM A992 GRADE 50
 - B. PLATES, ANGLES, CHANNELSASTM A36
 - C. HOLLOW STRUCTURAL SECTIONS (HSS)ASTM A500, GRADE B
 - D. PIPEASTM A53 GRADE B
 - E. HIGH STRENGTH BOLTSASTM A325-X
 - F. MACHINE BOLTSASTM A307
 - F. WELDING ELECTRODESAWS D1.1 (E70XX)
 - G. ANCHOR BOLTSASTM F1554 GRADE 36
3. CONNECTIONS SHALL BE DESIGNED IN ACCORDANCE WITH AISC 360. ALL BOLTED CONNECTIONS SHALL HAVE A MINIMUM OF 2 BOLTS. MINIMUM BOLT SIZE SHALL BE 3/4" U.N.O. MINIMUM WELD SIZE SHALL CONFORM TO AISC 360. HIGH STRENGTH BOLTS SHALL BE TIGHTENED TO A SNUG TIGHT CONDITION PER ASTM A325 U.N.O.
4. ANCHOR BOLTS SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A123.
5. STRUCTURAL STEEL SHALL BE CLEANED TO MEET THE REQUIREMENTS OF SSPC-SP2. STRUCTURAL STEEL SHALL BE COATED WITH SHOP COAT RED OXIDE PRIMER.
6. HOLES, NOTCHES, AND CUTS SHALL NOT BE MADE IN STRUCTURAL STEEL MEMBERS WITHOUT ENGINEER'S APPROVAL.

REINFORCING STEEL

1. FABRICATION AND PLACEMENT OF REINFORCING BARS SHALL CONFORM TO: ACI 301 "SPECIFICATION FOR STRUCTURAL CONCRETE" ACI SP-66 "ACI DETAILING MANUAL".
2. REINFORCING BARS SHALL BE DEFORMED AND IN ACCORDANCE WITH ASTM A615 GRADE 60.
3. WELDING OF REINFORCING BARS IS PROHIBITED WITHOUT PRIOR APPROVAL. WELDED BARS SHALL CONFORM TO ASTM A706 GRADE 60. WELDING SHALL CONFORM TO AWS D1.4.
4. CONCRETE COVER SHALL BE AS FOLLOWS;
 - CAST AGAINST OR PERMANENTLY EXPOSED TO EARTH3"
 - EXPOSED TO EARTH OR WEATHER
 - #5 BAR OR SMALLER 1 1/2"
 - #6 BAR AND LARGER2"
 - NOT EXPOSED TO EARTH
 - SLABS WALLS AND JOISTS
 - #14 AND #18 BARS 1 1/2"
 - #11 BARS AND SMALLER3/4"
 - BEAMS AND COLUMNS
 - PRIMARY REINFORCEMENT, TIES, STIRRUPS AND SPIRALS1 1/2"
5. REINFORCING BARS #5 AND SMALLER SHALL BE BENT COLD ONE TIME ONLY. ALL OTHER BARS REQUIRE PREHEAT.
6. LAP SPLICES SHALL BE CLASS "B" AND SHALL BE STAGGERED. SPLICES SHALL BE PROVIDED AS REQUIRED PER THE FOLLOWING TABLE;

REINFORCING SPLICE LENGTHS		
BAR SIZE	SPLICE LENGTH (in.) VERTICALS & BOTTOM BARS	SPLICE LENGTH (in.) TOP BARS
#3	20"	24"
#4	24"	30"
#5	30"	39"
#6	35"	46"
#7	63"	82"
#8	72"	94"
#9	81"	106"
#10	89"	116"
#11	98"	128"

* TOP BARS = HORIZONTAL REINFORCEMENT SO PLACED THAT MORE THAN 12" OF CONCRETE IS CAST IN MEMBER BELOW THE SPLICE.

WOOD

1. WOOD CONSTRUCTION SHALL CONFORM WITH THE FOLLOWING REFERENCE STANDARDS;
 - A. NDS "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION"
 - B. ANSI / TPI 1 " NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION"
 - C. TPI HIBB "COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING & BRACING METAL PLATE CONNECTED WOOD TRUSSES"
2. MATERIALS;
 - A. SAWN LUMBER
 - 2x STUDSDOUG-FIR No. 2
 - SILL PLATESPT DOUG-FIR No. 2
 - JOISTS, RAFTERSDOUG-FIR No. 2
 - POSTS & BEAMSDOUG-FIR No. 1
 - B. ROUGH SAWN LUMBER (U.N.O.)
 - 8x AND SMALLERDOUG-FIR No. 1
 - 10x AND LARGERDOUG-FIR No. 1
 - C. LAMINATED VENEER LUMBER (LVL)
 - Fb = 2600 psi
 - Fv = 285 psi
 - E = 1,900,000 psi
 - D. GLUE LAMINATED BEAMS (GLB) SHALL BE 24-V4 FOR SIMPLE SPANS AND 24-V8 FOR CANTILEVERED SPANS.
 - Fb = 2400 psi
 - Fv = 210 psi
 - E = 1,700,000 psi
 - E. LAMINATED STRAND LUMBER (LSL)
 - Fb = 1700 psi
 - Fv = 150 psi
 - E = 1,300,000 psi
3. ALL SAWN LUMBER AND ENGINEERED LUMBER SHALL BE IDENTIFIED BY A GRADE MARK ISSUED BY WHPA, WCLB OR NLGA.
4. NAILS SHALL BE COMMON NAILS. DESIGN IS BASED ON THE FOLLOWING SIZES;

SIZE	DIAMETER	LENGTH
8d	0.131"	2 1/2"
10d	0.148"	3"
12d	0.150"	3"
16d	0.162"	3 1/2"
20d	0.192"	4"
5. BOLTS FOR WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH ASTM A307. GRADE A. LAG SCREWS SHALL BE IN ACCORDANCE WITH ASTM A307 GRADE A.
6. CONNECTION HARDWARE SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE OR APPROVED EQUAL.
7. SHEATHING SHALL CONFORM TO STANDARDS PS-1 AND PS-2 AND SHALL BEAR THE STAMP OF THE AMERICAN PLYWOOD ASSOCIATION (APA). SHEATHING MAY BE PLYWOOD OR OSB FOR WALLS AND ROOFING. FLOOR SHEATHING SHALL BE TONGUE & GROOVE PLYWOOD STURDI-FLOOR.

USE	THICKNESS	SPAN RATING	GRADE	EXPOSURE
ROOF	19/32"	40/20	C-D	1
FLOOR	23/32" T&G	48/24	STURDI-FLOOR	1
WALLS	15/32"	32/16	C-D	1
8. ALL WOOD PRODUCTS SHALL BE KILN DRIED WITH A MAXIMUM MOISTURE CONTENT OF 19%. MOISTURE CONTENT SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D4442.
9. PROVIDE DOUBLE JOISTS UNDER STUD WALLS U.N.O.



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1243 RED DRAW - LOT 15, FILING 11 CORDILLERA
EAGLE COUNTY, COLORADO

ASE Project No.: 2300-14
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Revision	Date
COORDINATION	5-11-23
PERMIT	6-05-23

GENERAL NOTES

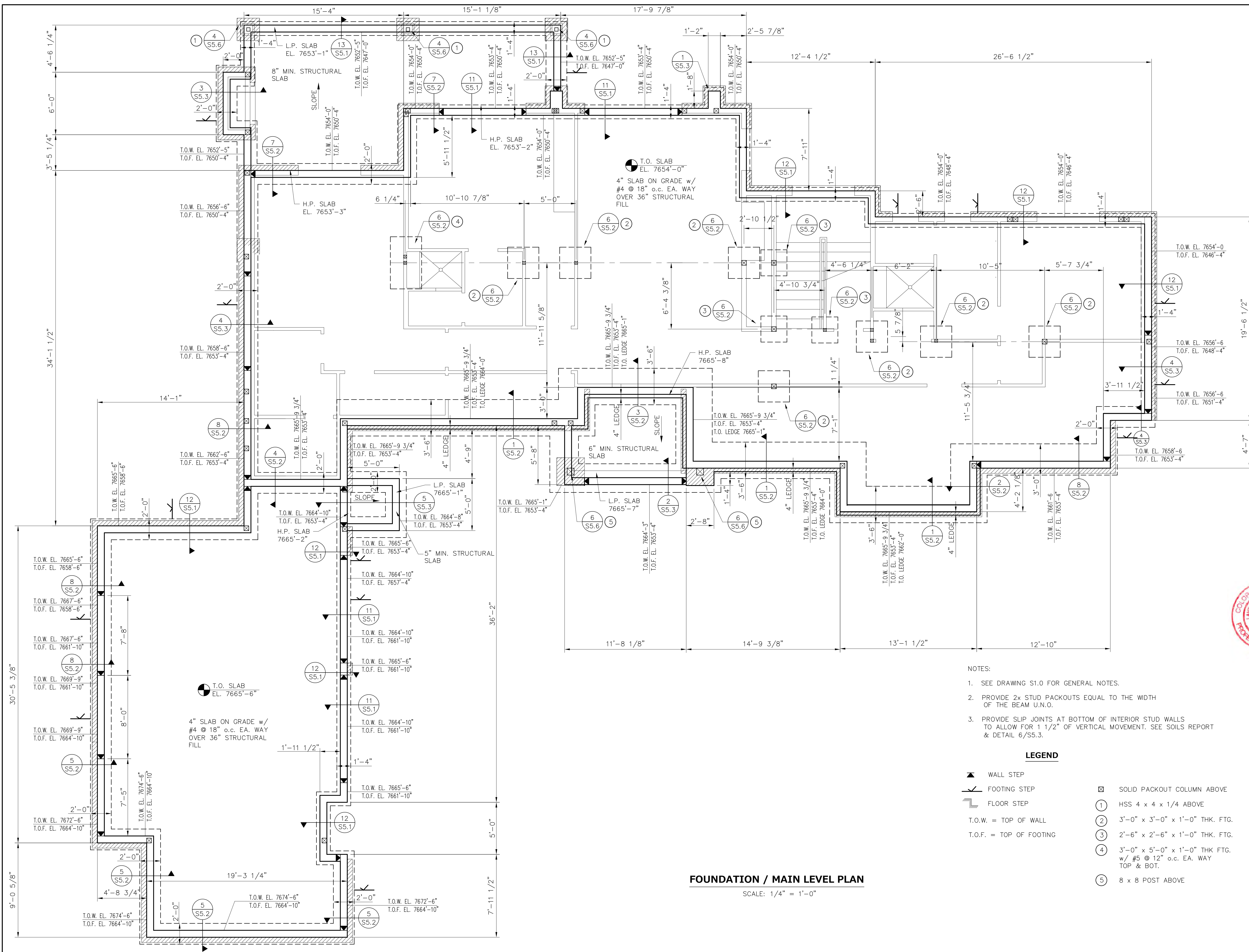


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- NOTES:
- SEE DRAWING S1.0 FOR GENERAL NOTES.
 - PROVIDE 2x STUD PACKOUTS EQUAL TO THE WIDTH OF THE BEAM U.N.O.
 - PROVIDE SLIP JOINTS AT BOTTOM OF INTERIOR STUD WALLS TO ALLOW FOR 1 1/2" OF VERTICAL MOVEMENT. SEE SOILS REPORT & DETAIL 6/SS.3.

- LEGEND**
- WALL STEP
 - FOOTING STEP
 - FLOOR STEP
 - T.O.W. = TOP OF WALL
 - T.O.F. = TOP OF FOOTING
 - SOLID PACKOUT COLUMN ABOVE
 - HSS 4 x 4 x 1/4 ABOVE
 - 3'-0" x 3'-0" x 1'-0" THK. FTG.
 - 2'-6" x 2'-6" x 1'-0" THK. FTG.
 - 3'-0" x 5'-0" x 1'-0" THK FTG. w/ #5 @ 12" o.c. EA. WAY TOP & BOT.
 - 8 x 8 POST ABOVE

FOUNDATION / MAIN LEVEL PLAN
SCALE: 1/4" = 1'-0"

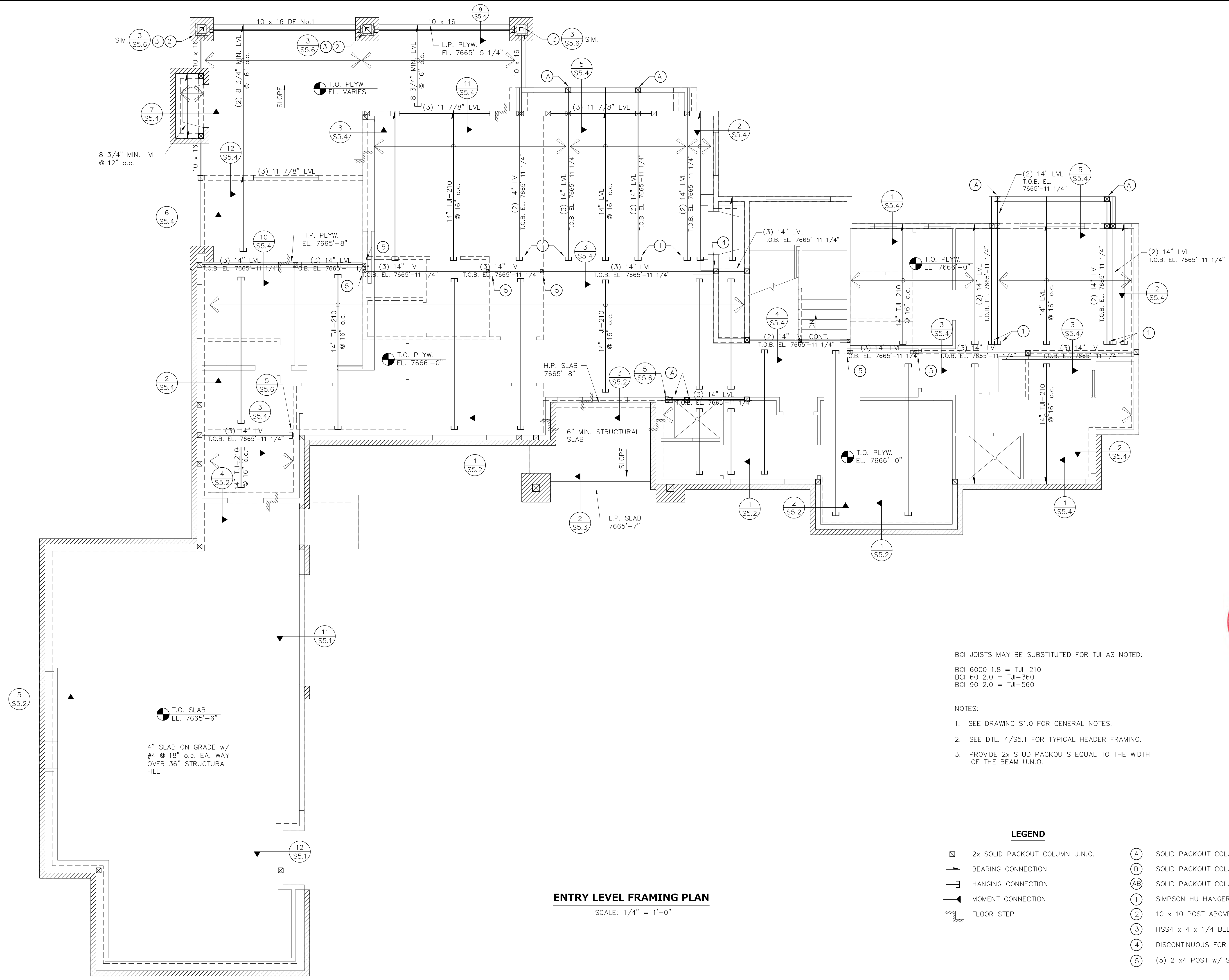
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Revision	Date
COORDINATION	5-11-23
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**FOUNDATION/
MAIN LEVEL
PLAN**

Sheet
S1.1

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ENTRY LEVEL FRAMING PLAN
 SCALE: 1/4" = 1'-0"

BCI JOISTS MAY BE SUBSTITUTED FOR TJI AS NOTED:

- BCI 6000 1.8 = TJI-210
- BCI 60 2.0 = TJI-360
- BCI 90 2.0 = TJI-560

NOTES:

1. SEE DRAWING S1.0 FOR GENERAL NOTES.
2. SEE DTL. 4/S5.1 FOR TYPICAL HEADER FRAMING.
3. PROVIDE 2x STUD PACKOUTS EQUAL TO THE WIDTH OF THE BEAM U.N.O.

LEGEND

- ⊠ 2x SOLID PACKOUT COLUMN U.N.O.
- ➔ BEARING CONNECTION
- ⌋ HANGING CONNECTION
- ⌋ MOMENT CONNECTION
- ⌋ FLOOR STEP
- (A) SOLID PACKOUT COLUMN ABOVE
- (B) SOLID PACKOUT COLUMN BELOW
- (AB) SOLID PACKOUT COLUMN ABOVE AND BELOW
- (1) SIMPSON HU HANGER
- (2) 10 x 10 POST ABOVE
- (3) HSS4 x 4 x 1/4 BELOW
- (4) DISCONTINUOUS FOR UPLIFT
- (5) (5) 2 x 4 POST w/ SIMPSON BC6R POST CAP



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 Drawn By: OBD
 Checked By: LKA

Revision	Date
COORDINATION	5-11-23
PERMIT	6-05-23

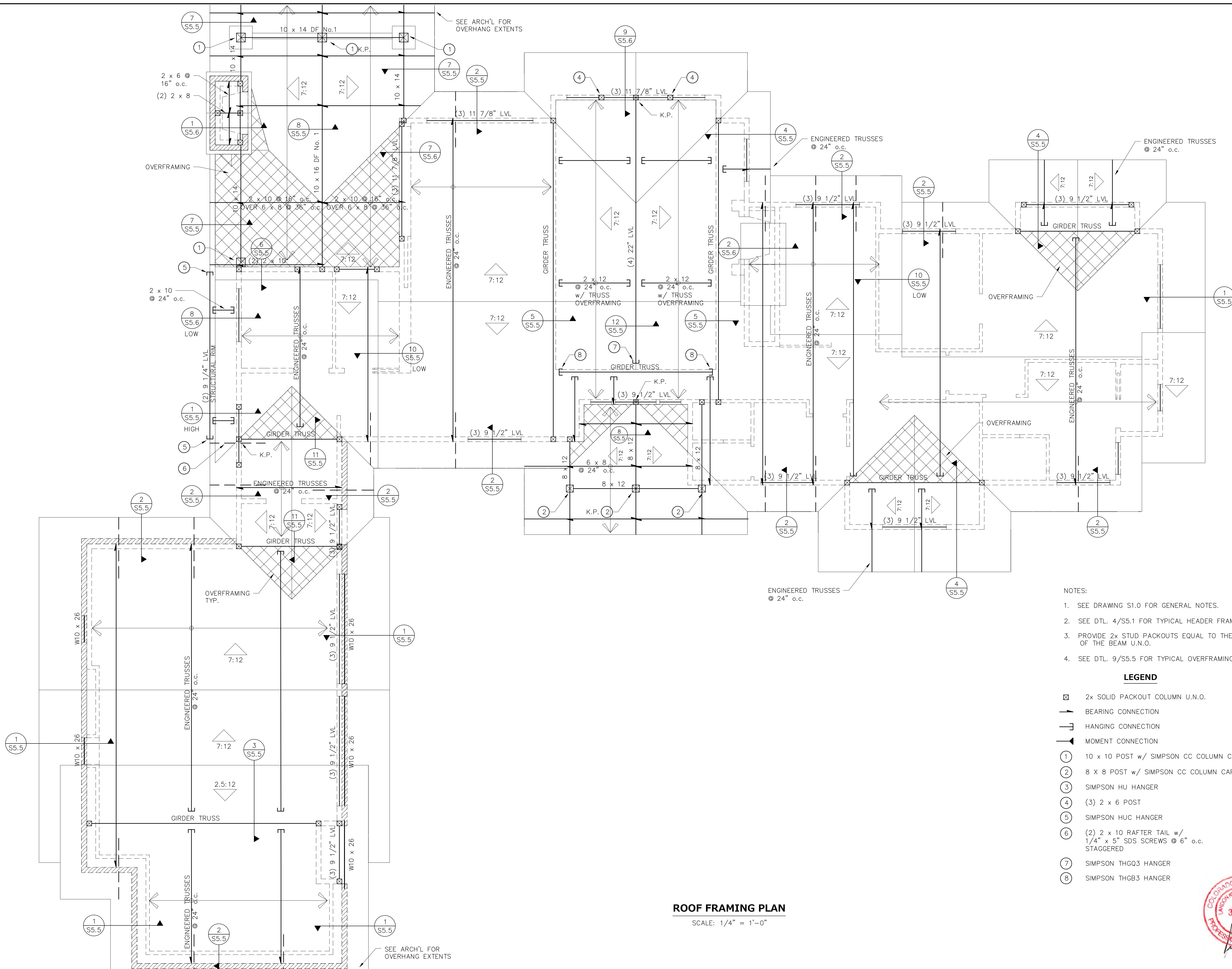
ENTRY LEVEL FRAMING PLAN

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S1.2



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ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"

- NOTES:**
- SEE DRAWING S1.0 FOR GENERAL NOTES.
 - SEE DTL. 4/S5.1 FOR TYPICAL HEADER FRAMING.
 - PROVIDE 2x STUD PACKOUTS EQUAL TO THE WIDTH OF THE BEAM U.N.O.
 - SEE DTL. 9/S5.5 FOR TYPICAL OVERFRAMING DETAILS.

- LEGEND**
- 2x SOLID PACKOUT COLUMN U.N.O.
 - BEARING CONNECTION
 - HANGING CONNECTION
 - MOMENT CONNECTION
 - 10 x 10 POST w/ SIMPSON CC COLUMN CAP
 - 8 x 8 POST w/ SIMPSON CC COLUMN CAP
 - SIMPSON HU HANGER
 - (3) 2 x 6 POST
 - SIMPSON HUC HANGER
 - (2) 2 x 10 RAFTER TAIL w/ 1/4" x 5" SDS SCREWS @ 6" o.c. STAGGERED
 - SIMPSON THGQ3 HANGER
 - SIMPSON THGB3 HANGER



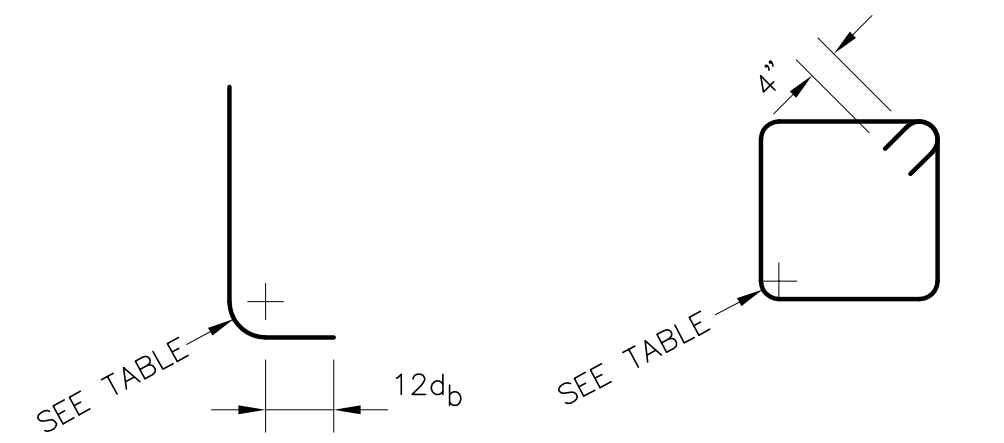
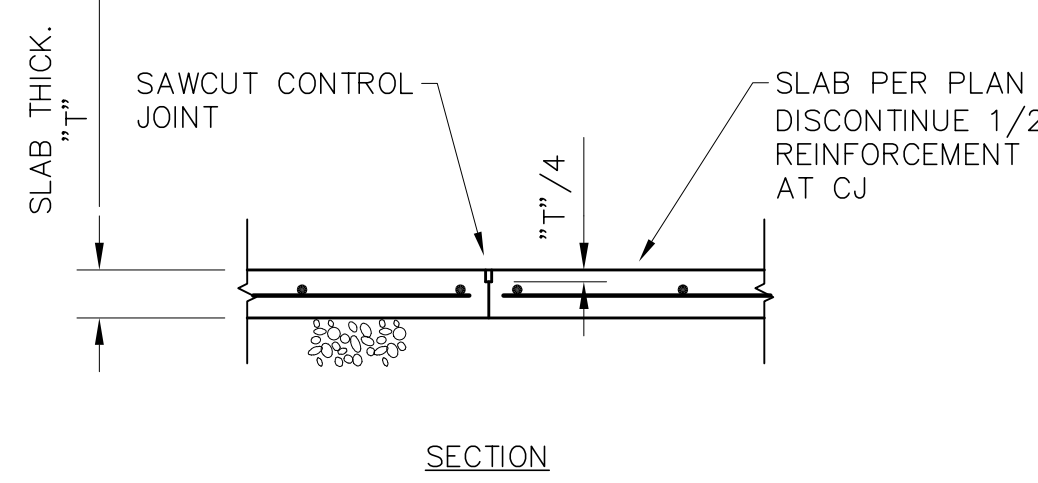
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Revision	Date
COORDINATION	5-11-23
PERMIT	6-05-23

ROOF FRAMING PLAN

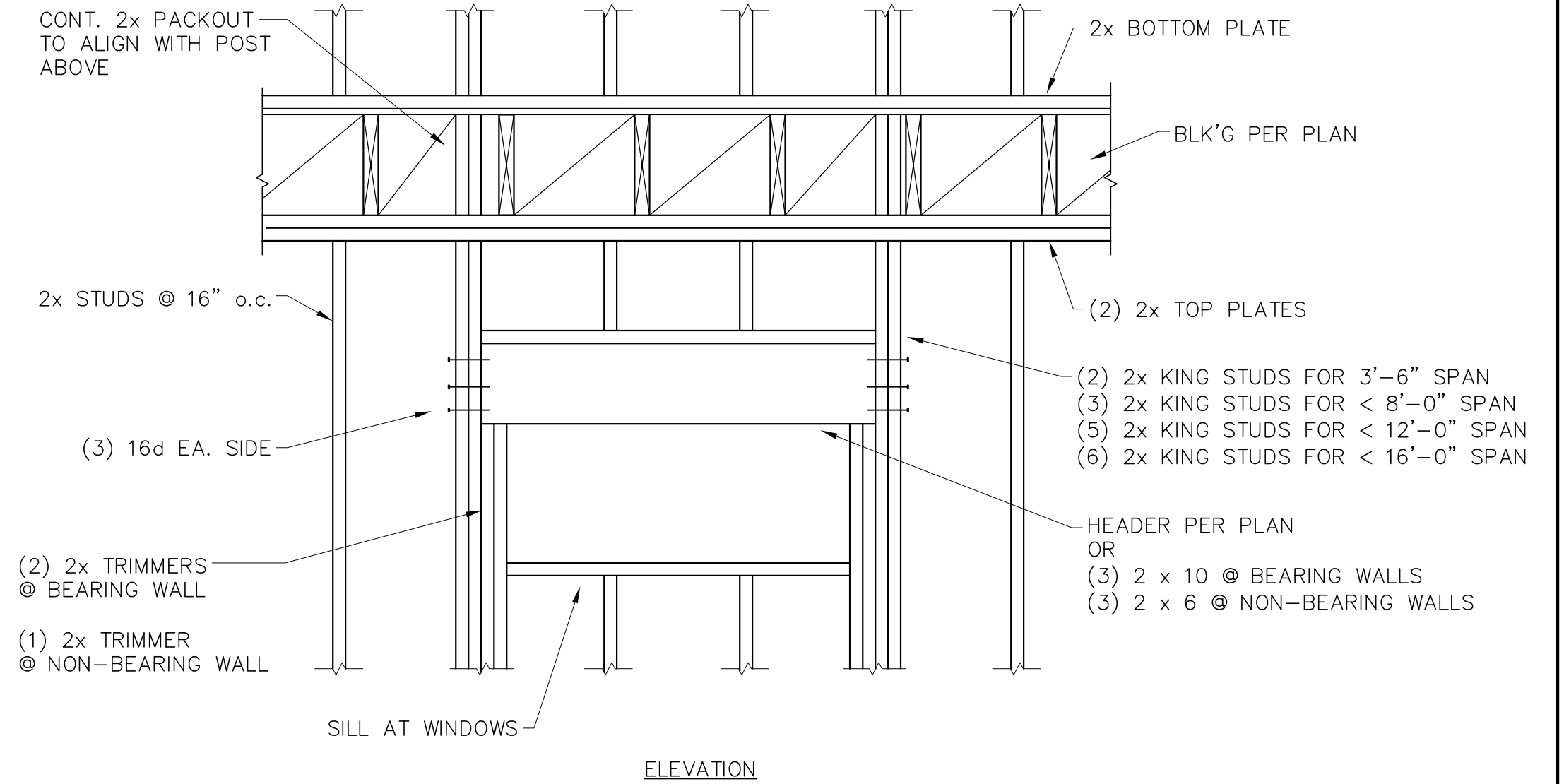
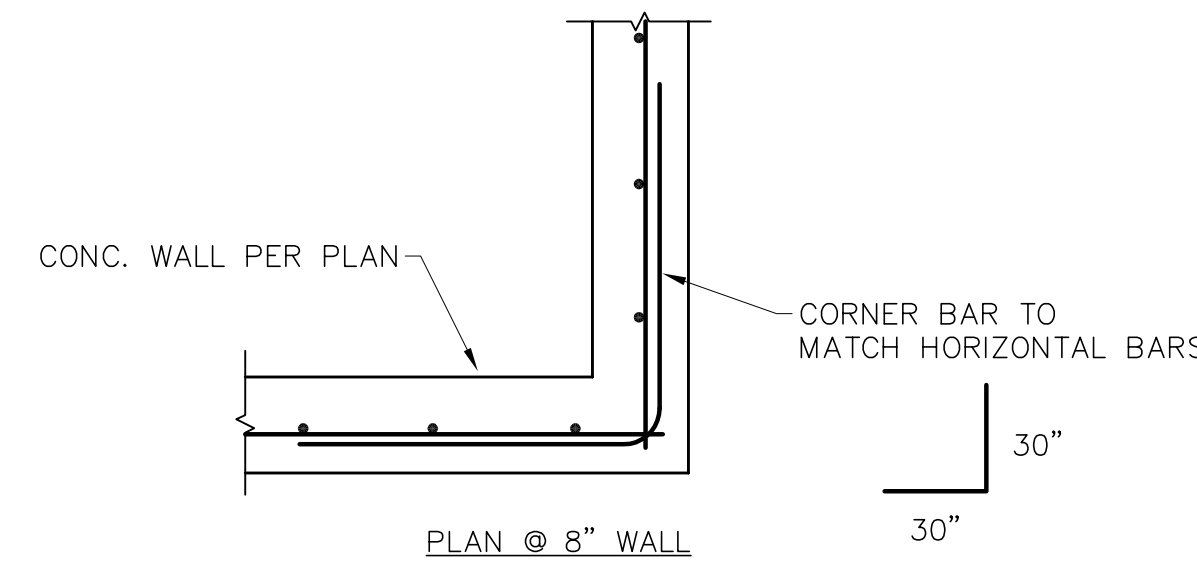
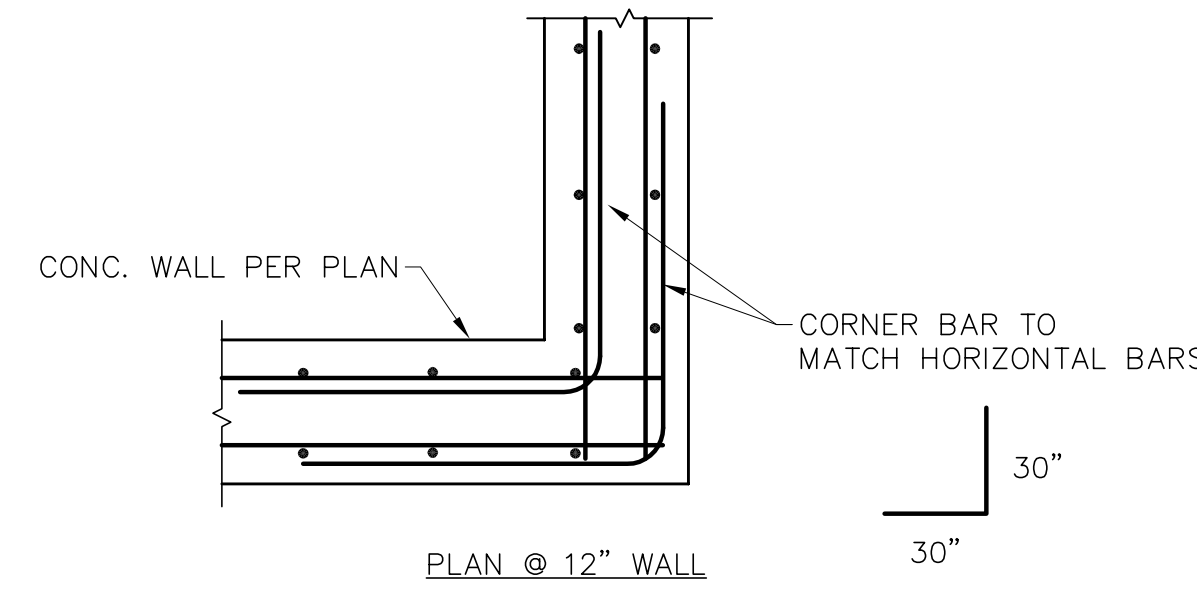
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S1.3

NOTES:
1. SAWCUT CONTROL JOINTS SHALL BE MADE WITHIN 24 HOURS OF POUR.
2. CONTROL JOINTS SPACING SHALL NOT EXCEED 10'-0" IN EACH DIRECTION.



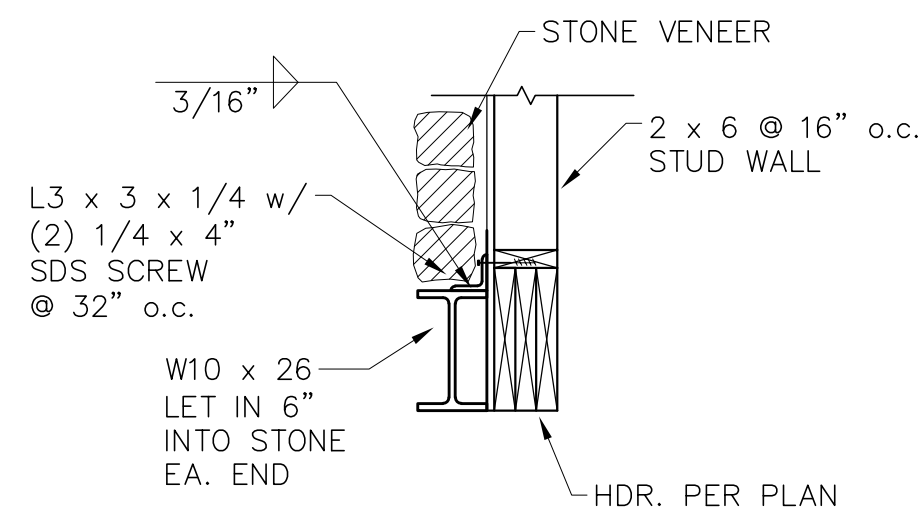
MINIMUM DIAMETERS OF BEND	
Bar Size	Minimum Diameter
No. 3 through 8	6d _b
No. 9, 10 and No. 11	8d _b
No. 14 and No. 18	10d _b

d_b = DIAMETER OF BAR



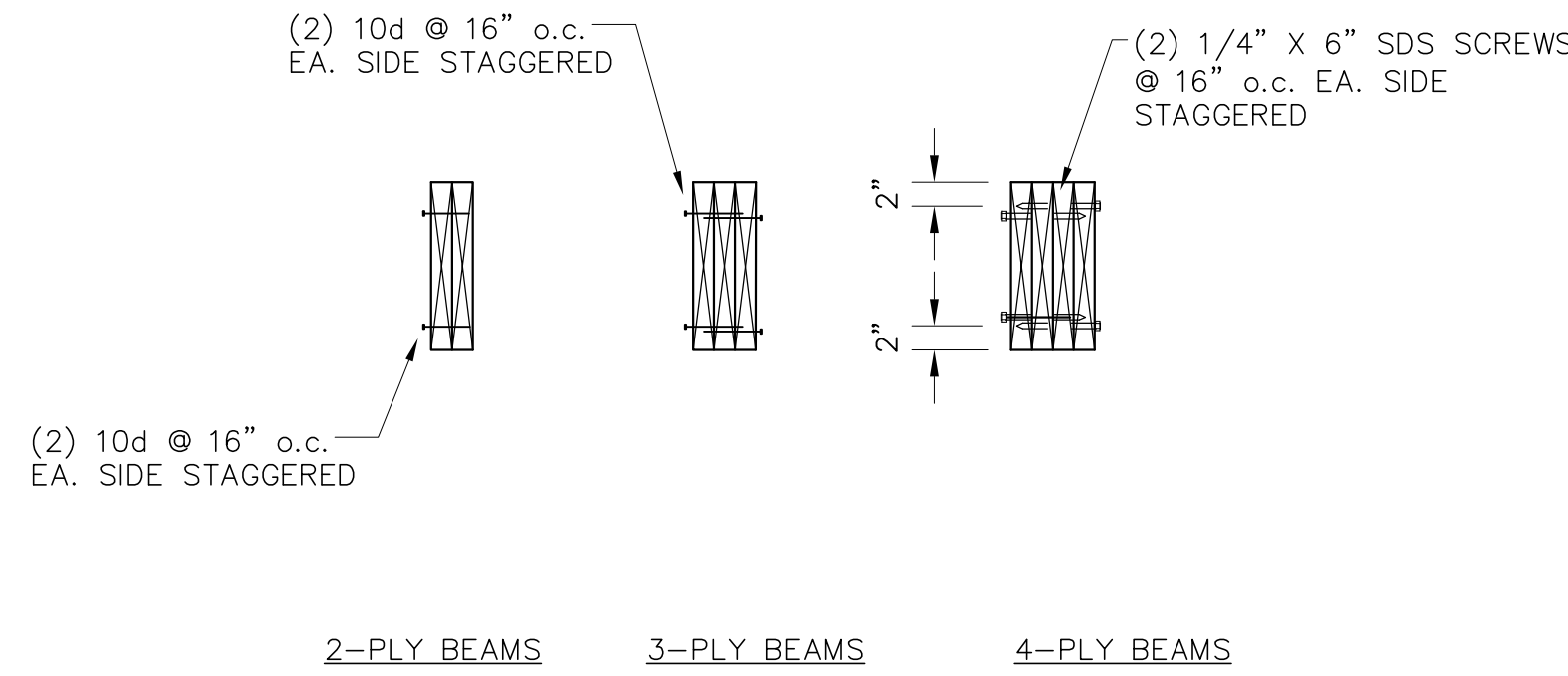
1 TYPICAL SLAB CONTROL JOINTS

SCALE: 3/4" = 1'-0"



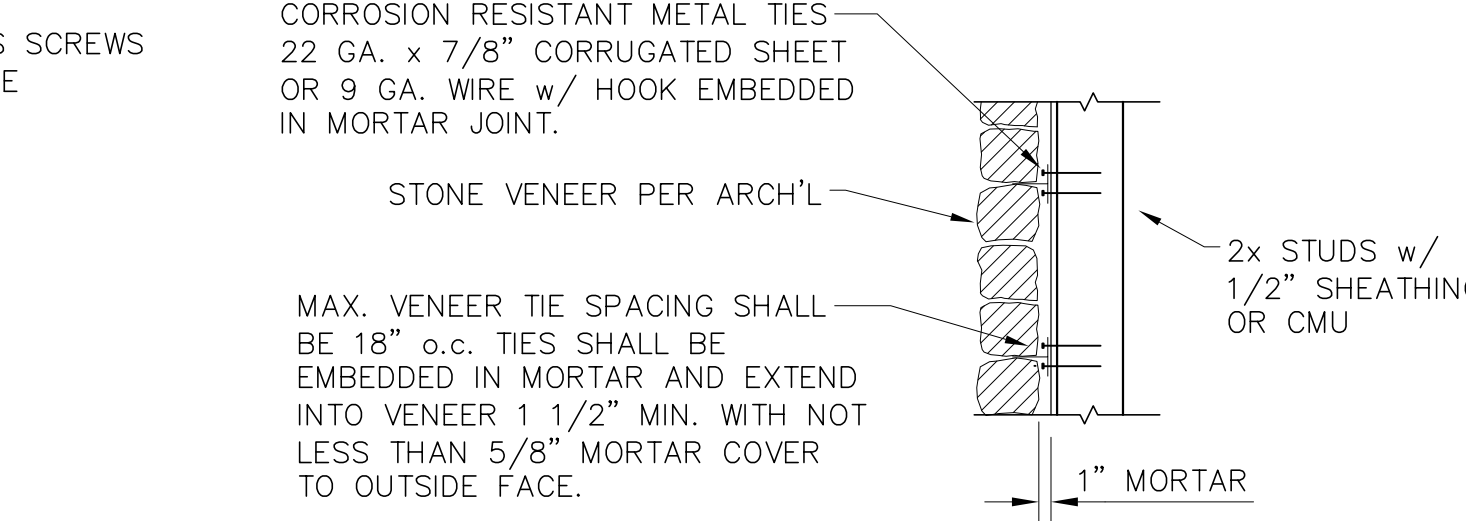
2 TYPICAL REINFORCEMENT DETAILS

SCALE: 3/4" = 1'-0"



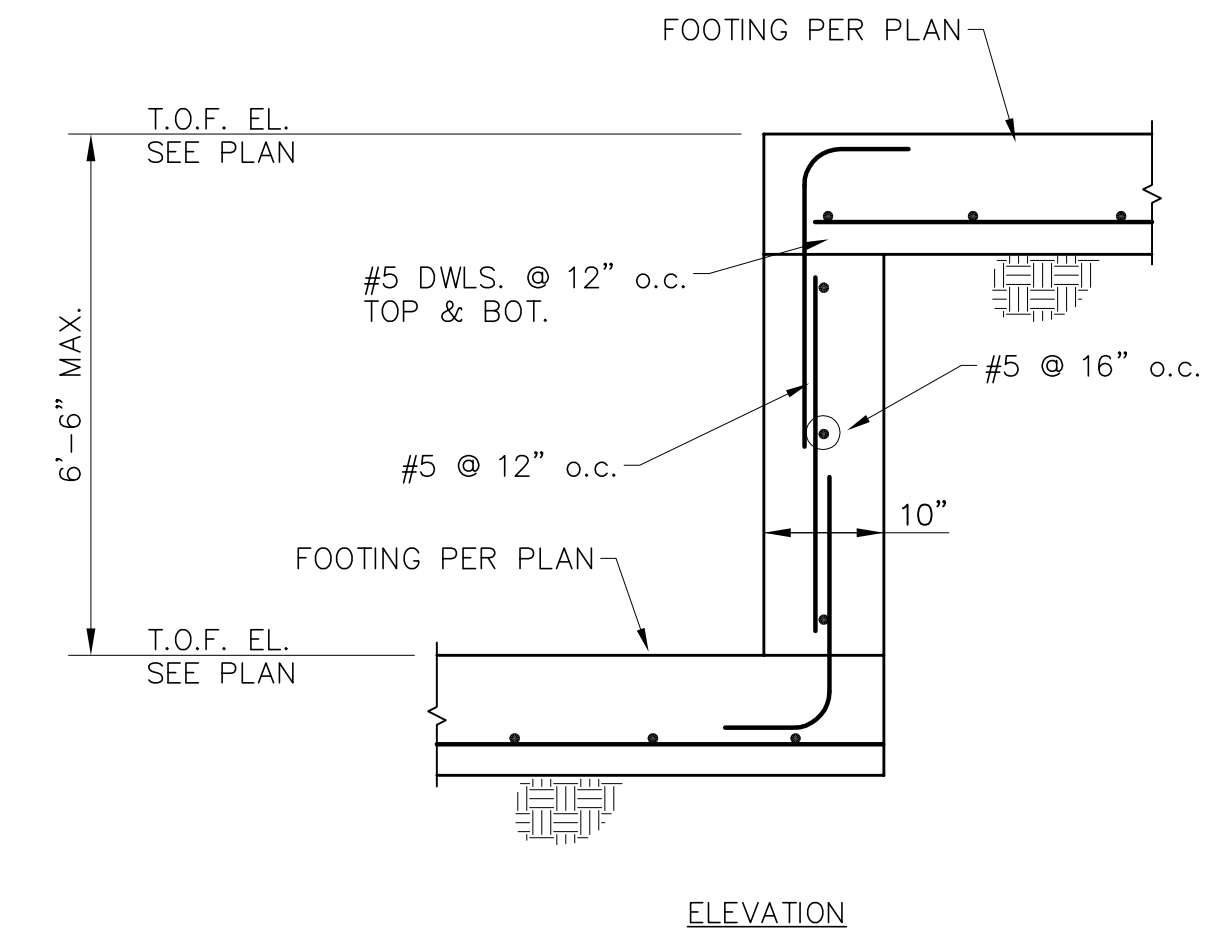
3 TYPICAL CORNER REINFORCEMENT

SCALE: 3/4" = 1'-0"



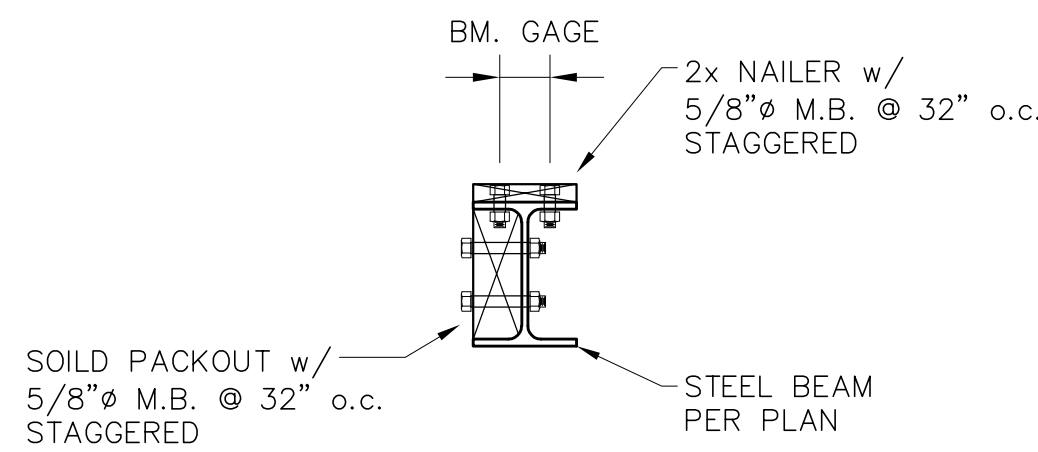
4 TYPICAL HEADER FRAMING

SCALE: 3/4" = 1'-0"



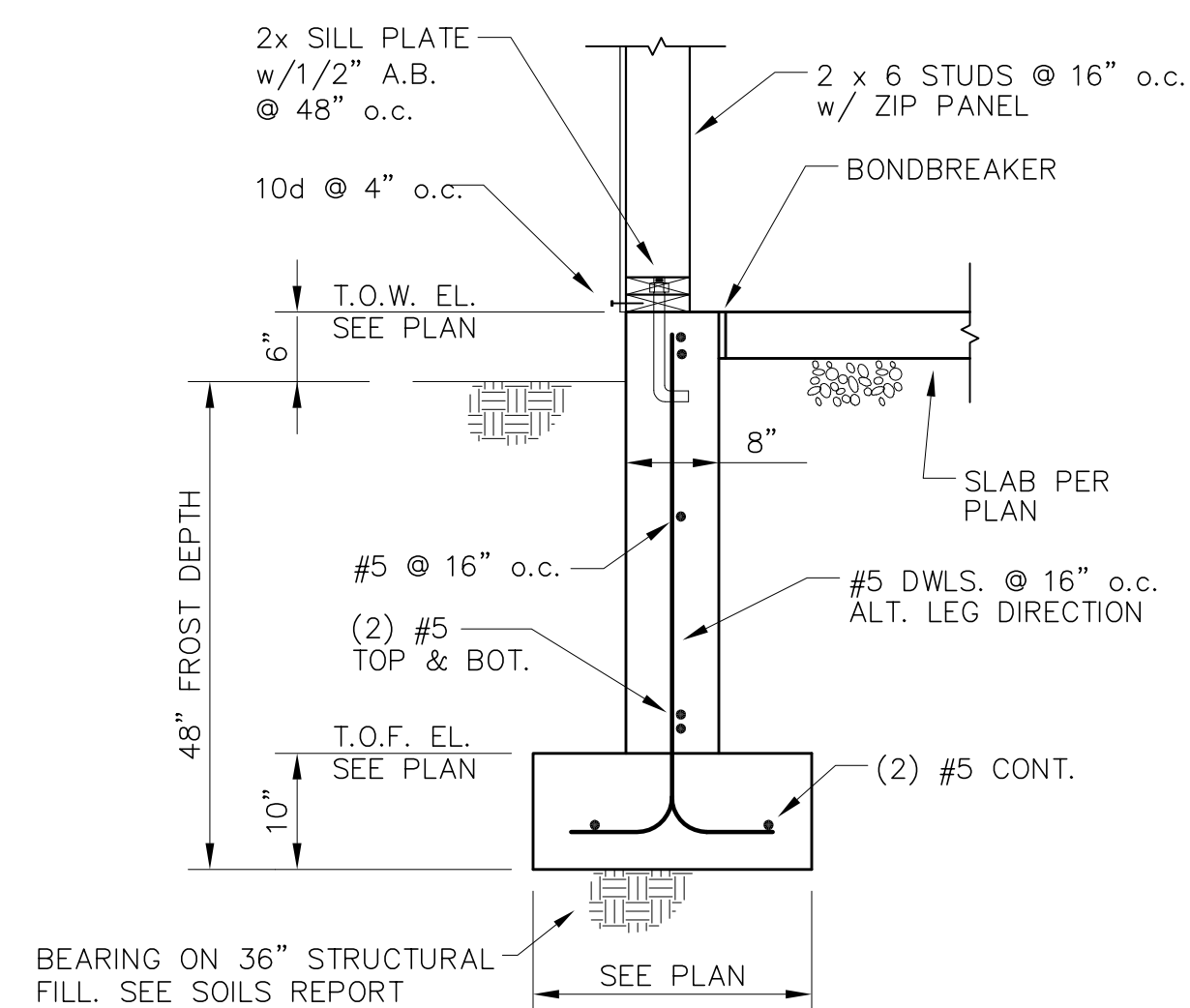
5 TYPICAL STEEL LINTEL

SCALE: 3/4" = 1'-0"



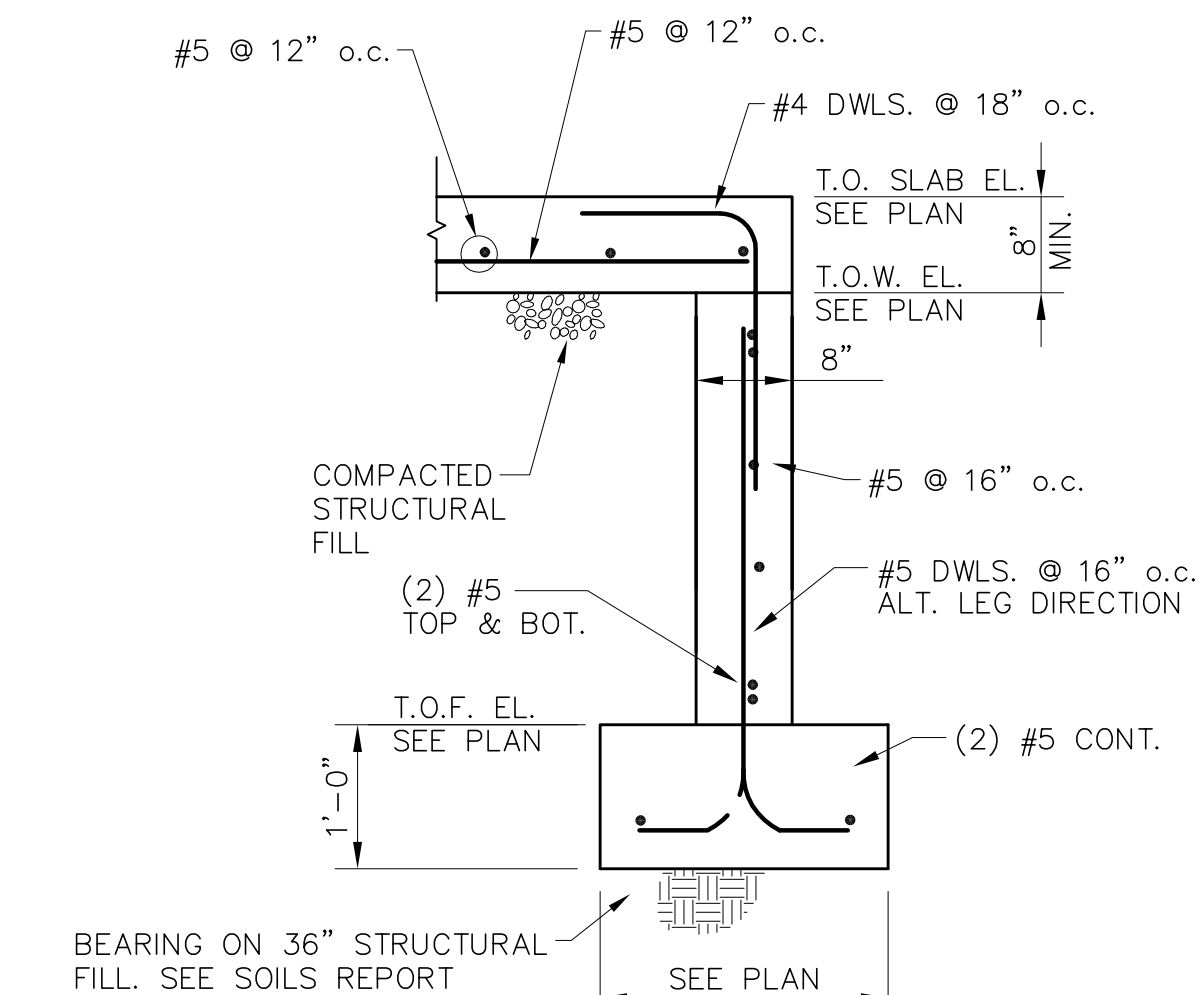
8 TYPICAL STONE VENEER ANCHORAGE

SCALE: N.T.S.



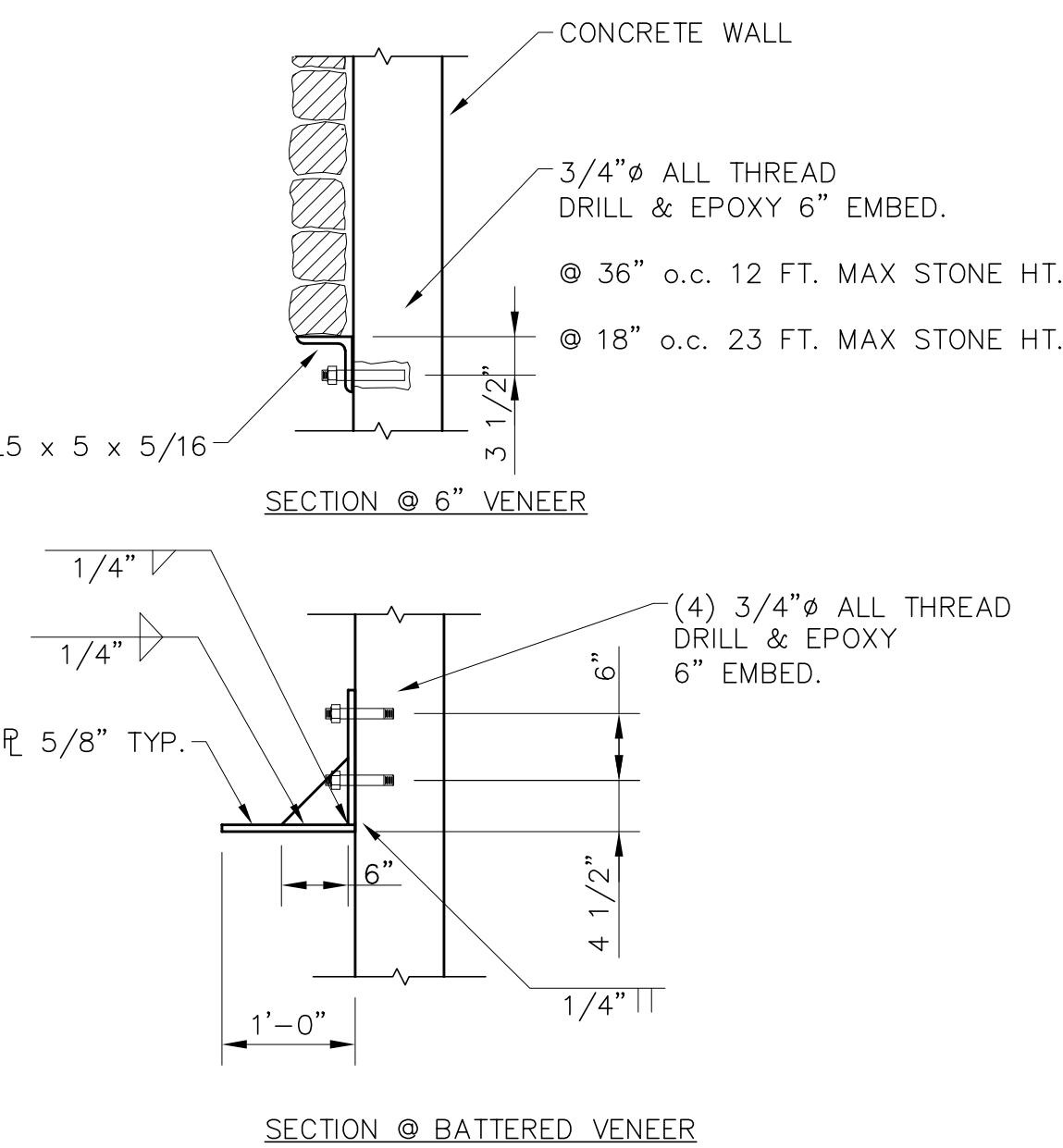
9 TYPICAL FOOTING STEPS

SCALE: 3/4" = 1'-0"



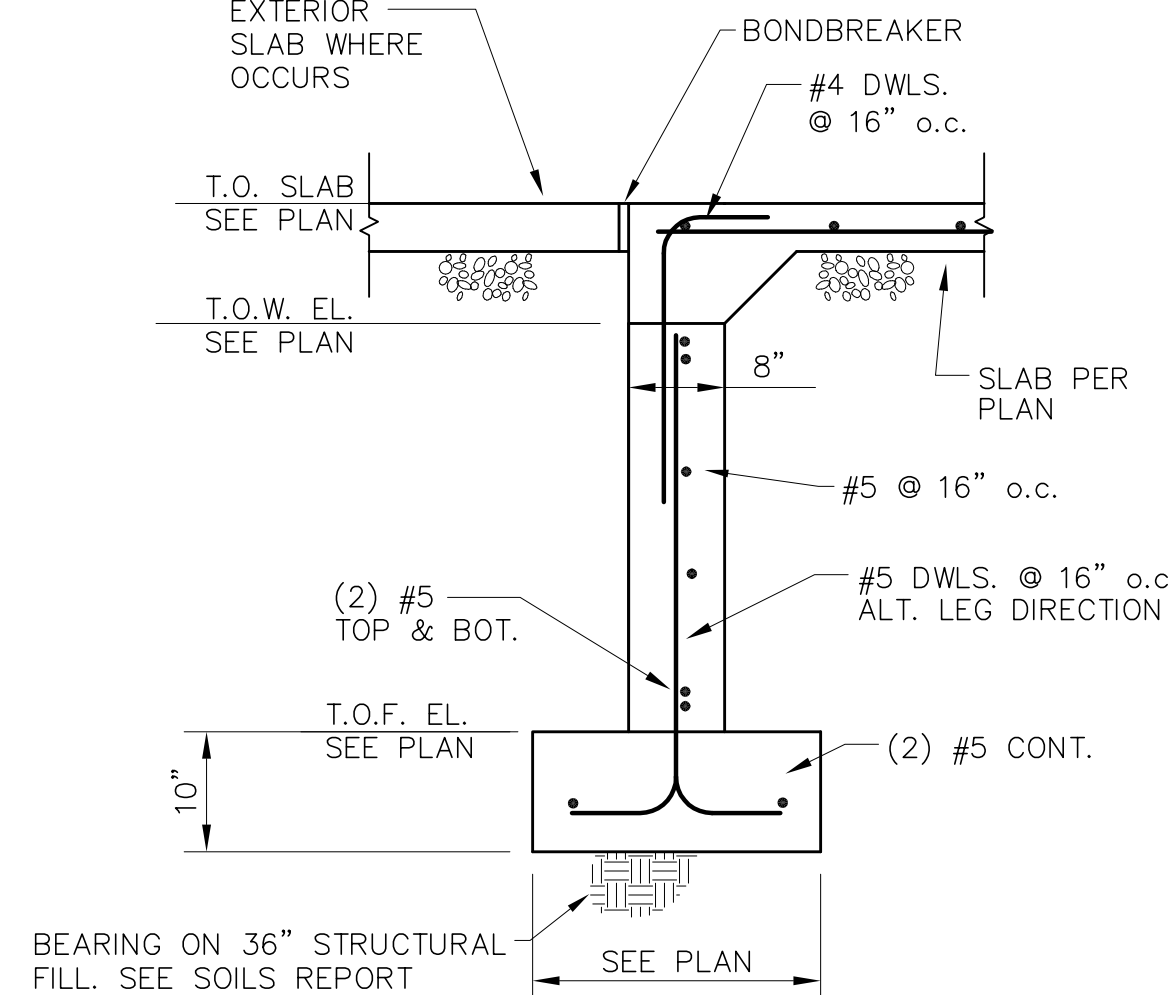
6 TYPICAL PACKOUTS & NAILERS

SCALE: 3/4" = 1'-0"



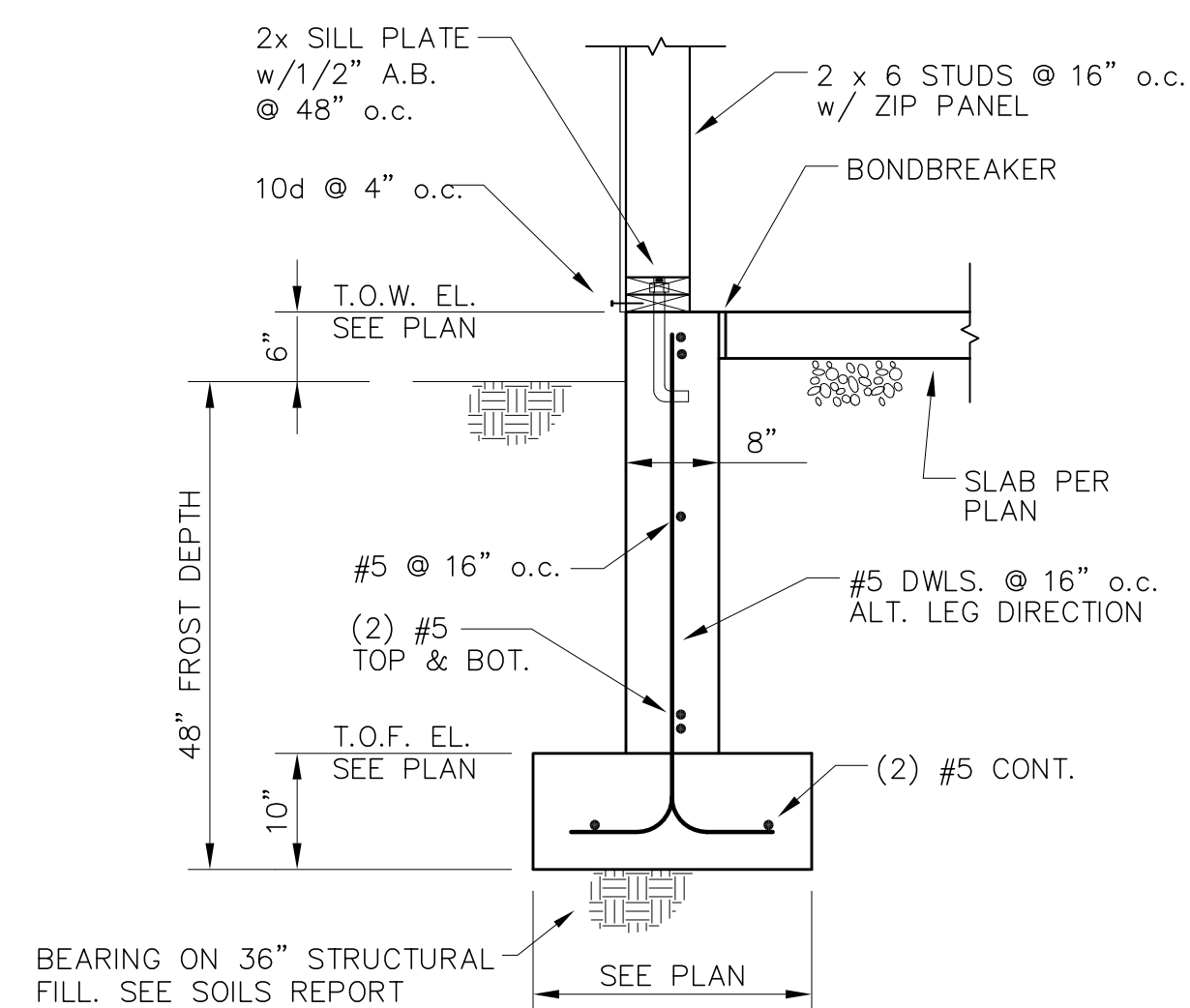
7 MULTI PLY BEAM CONNECTIONS

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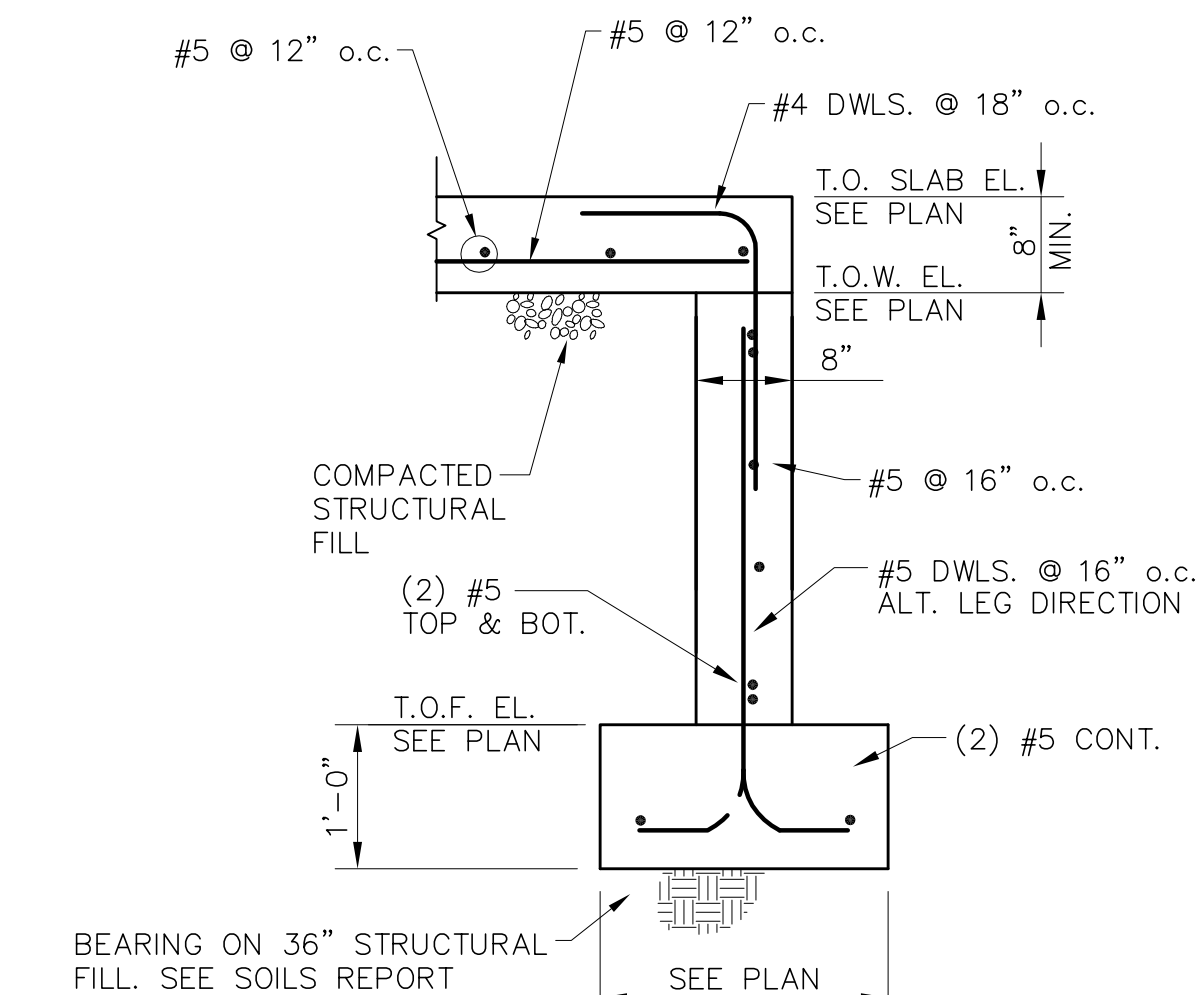
12 FOUNDATION DETAIL

SCALE: 3/4" = 1'-0"



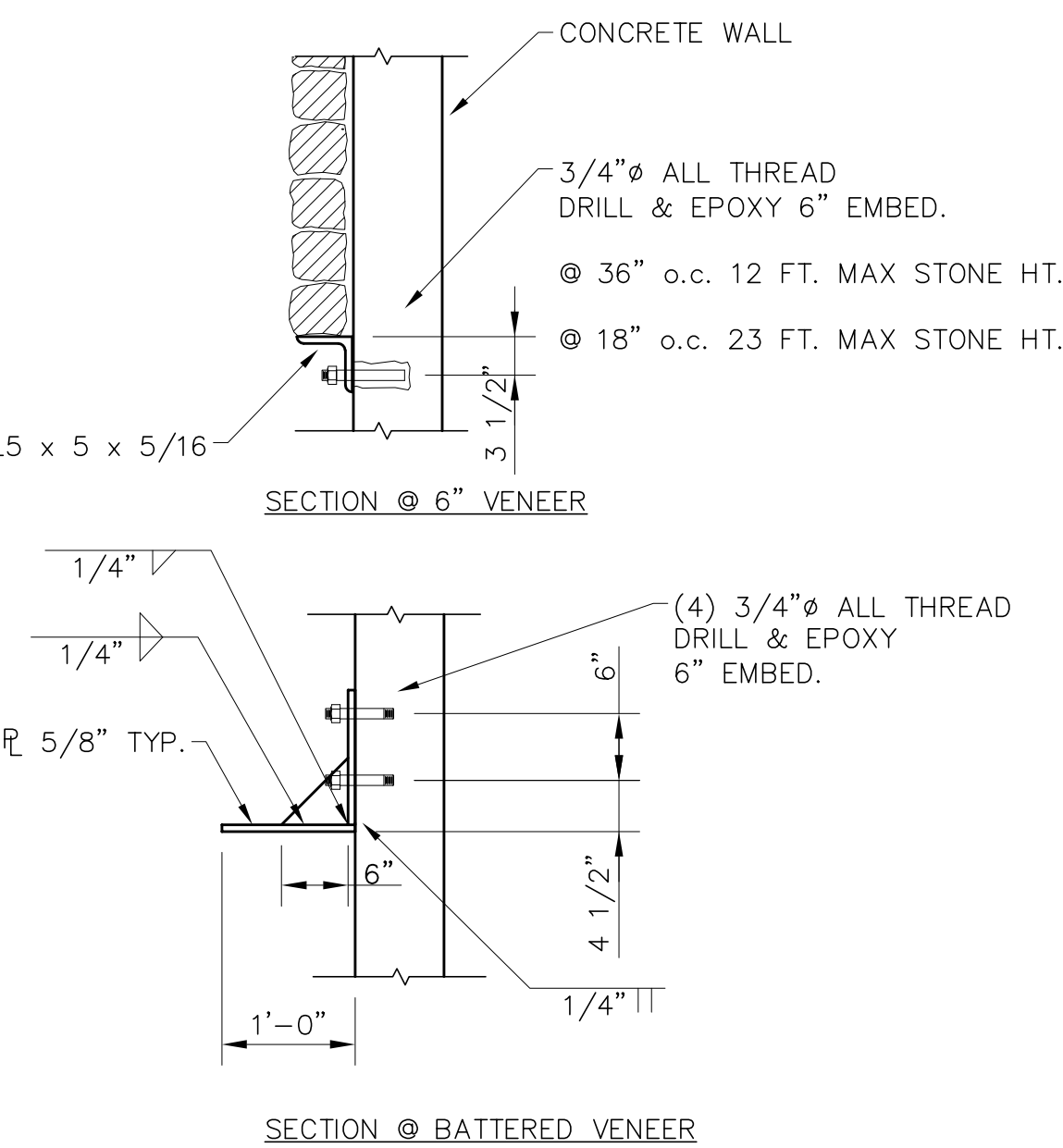
13 FOUNDATION DETAIL

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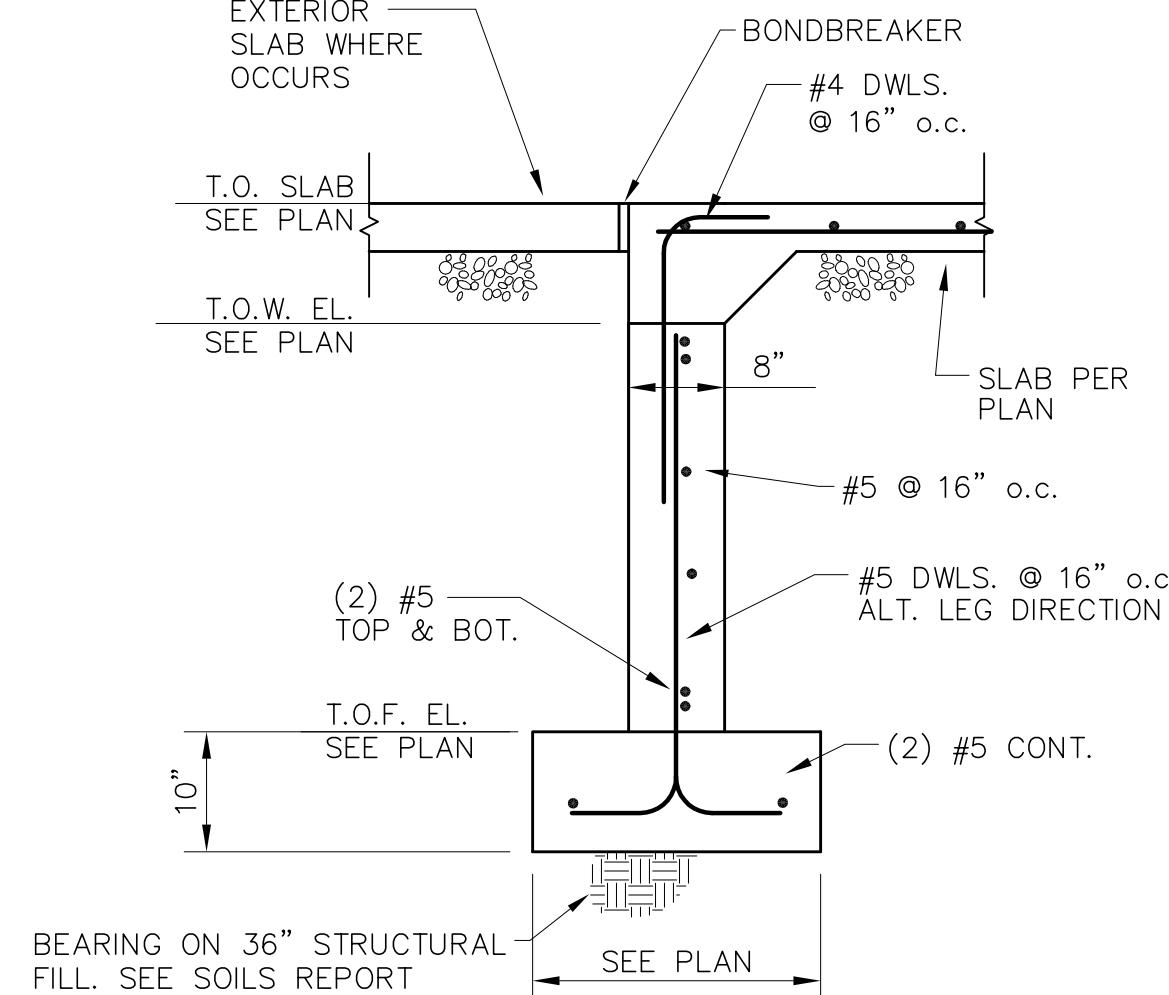
10 TYPICAL STONE LEDGER

SCALE: 3/4" = 1'-0"



11 FOUNDATION DETAIL

SCALE: 3/4" = 1'-0"



ASE Project No.: 2300-14
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Revision	Date
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SECTIONS AND DETAILS

S5.1



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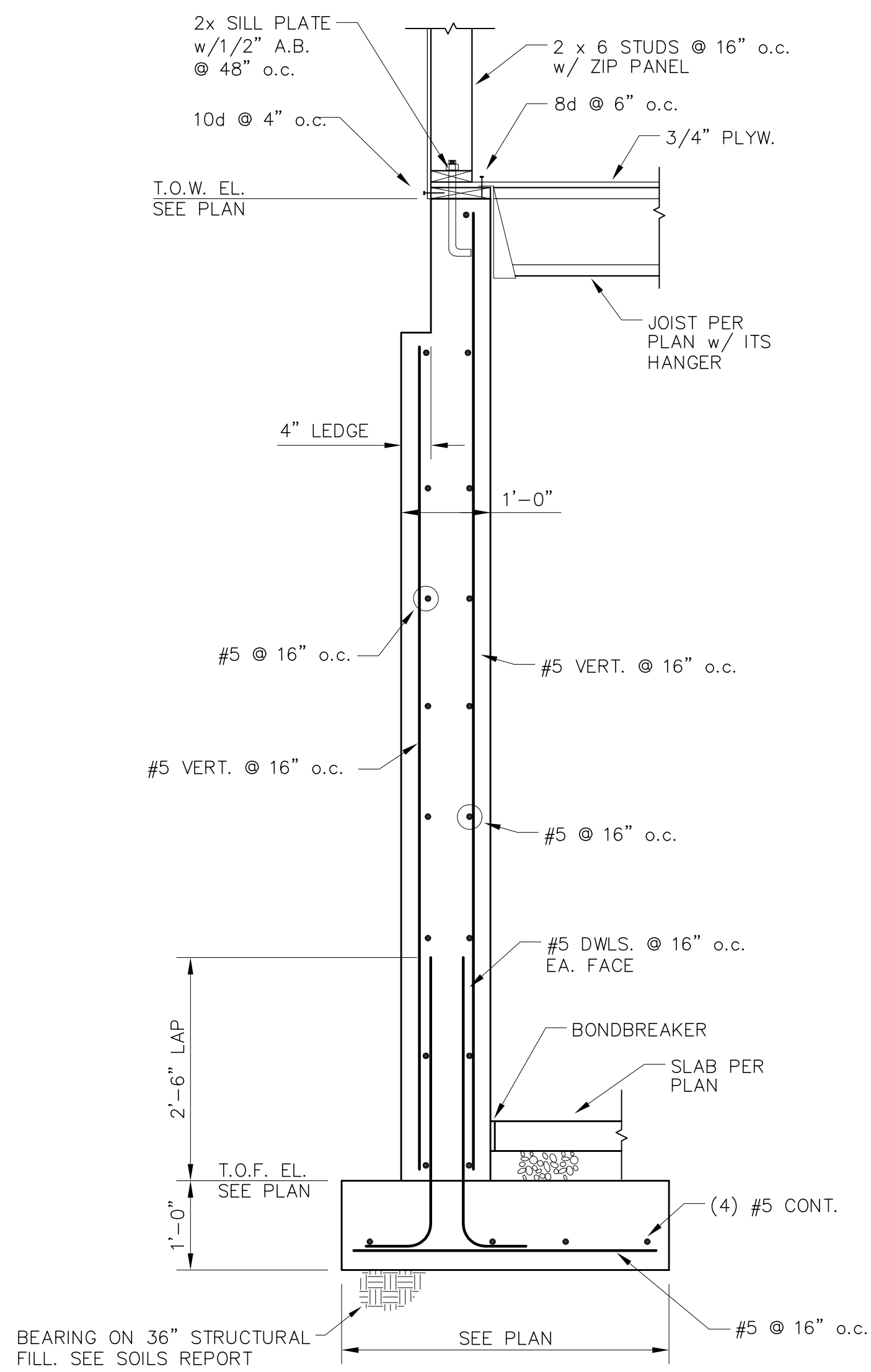
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**SECTIONS
AND
DETAILS**

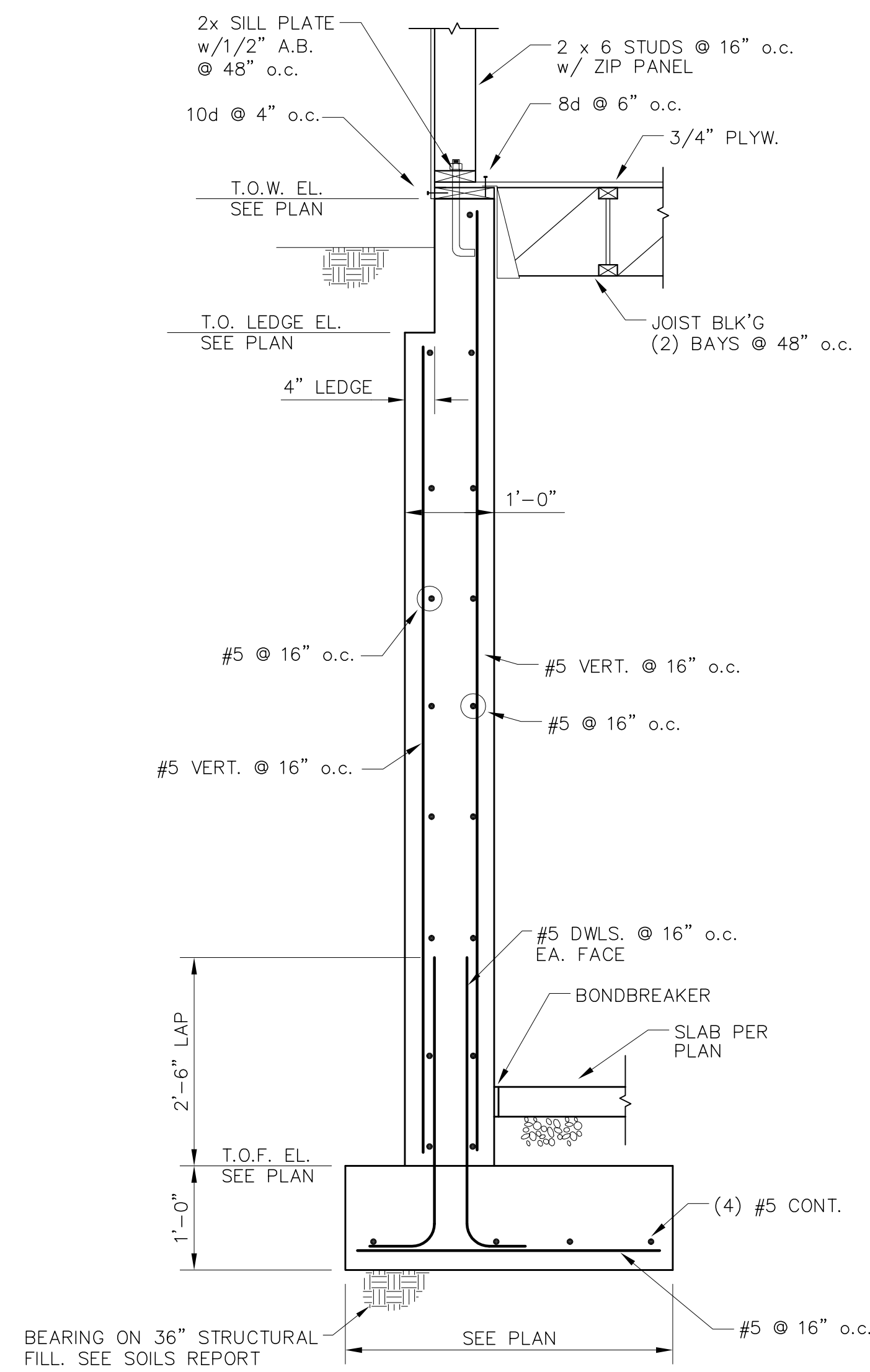
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S5.2



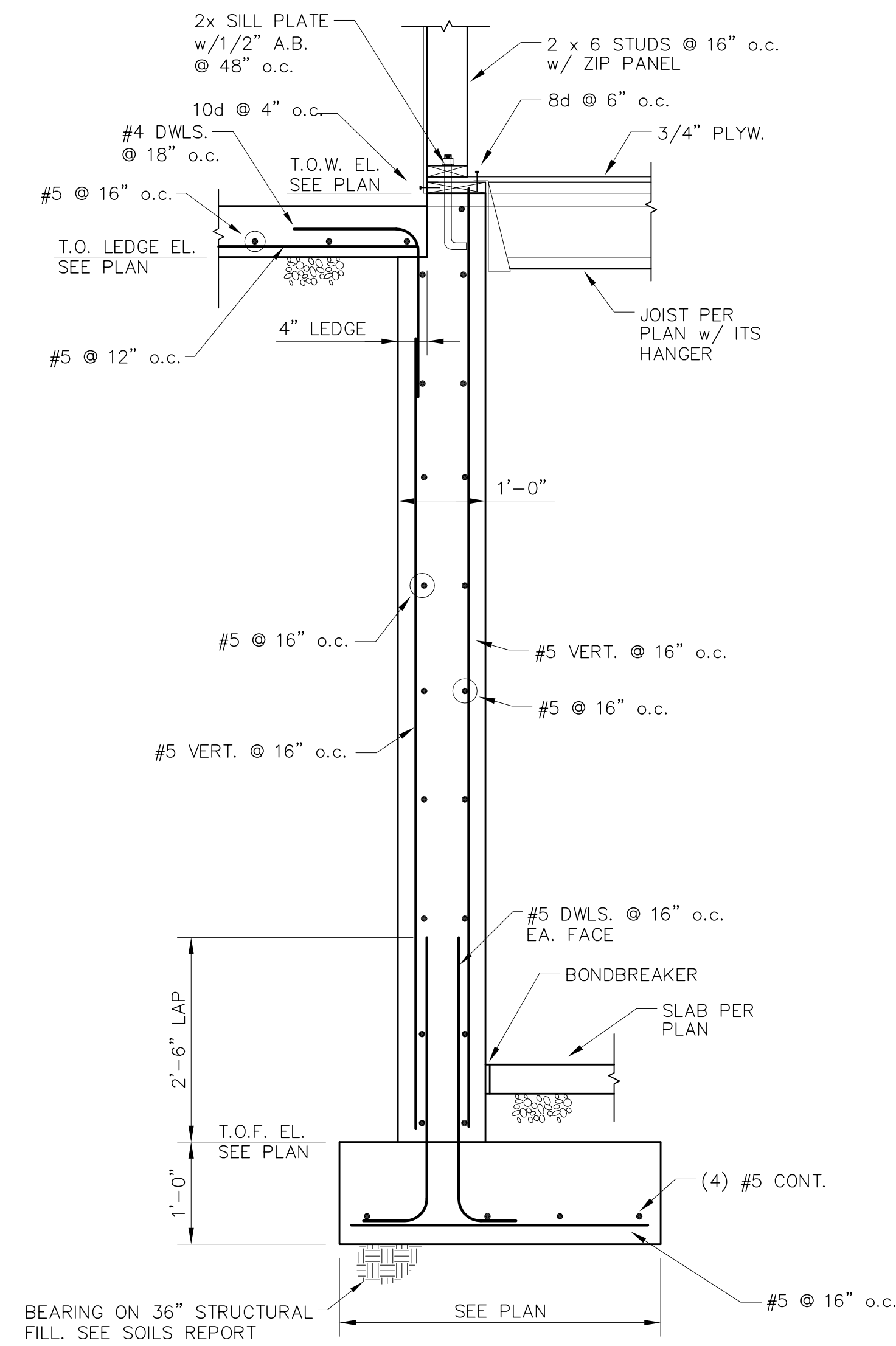
1 FOUNDATION DETAIL

SCALE: 3/4" = 1'-0"



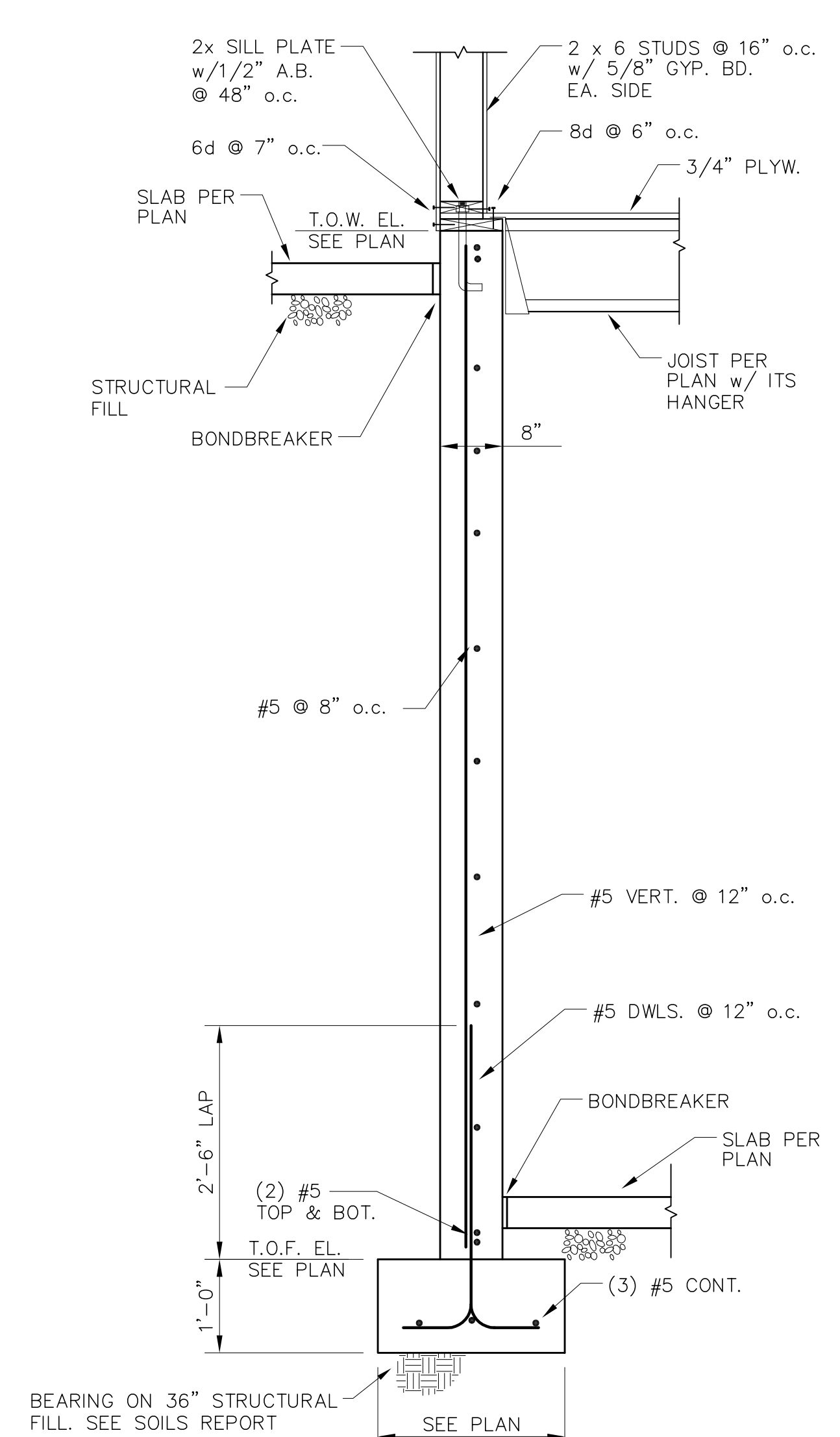
2 FOUNDATION DETAIL

SCALE: 3/4" = 1'-0"



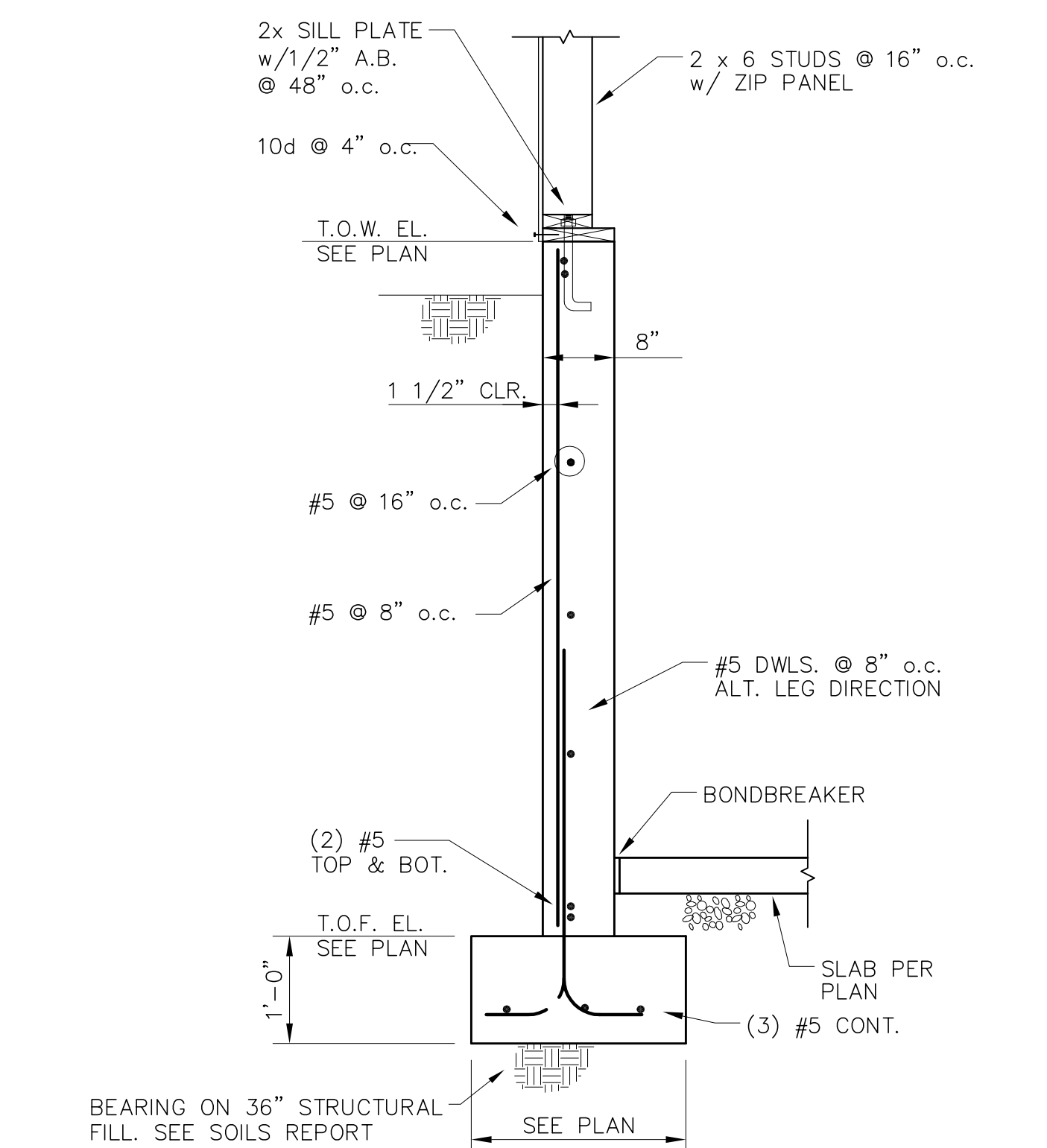
3 FOUNDATION DETAIL

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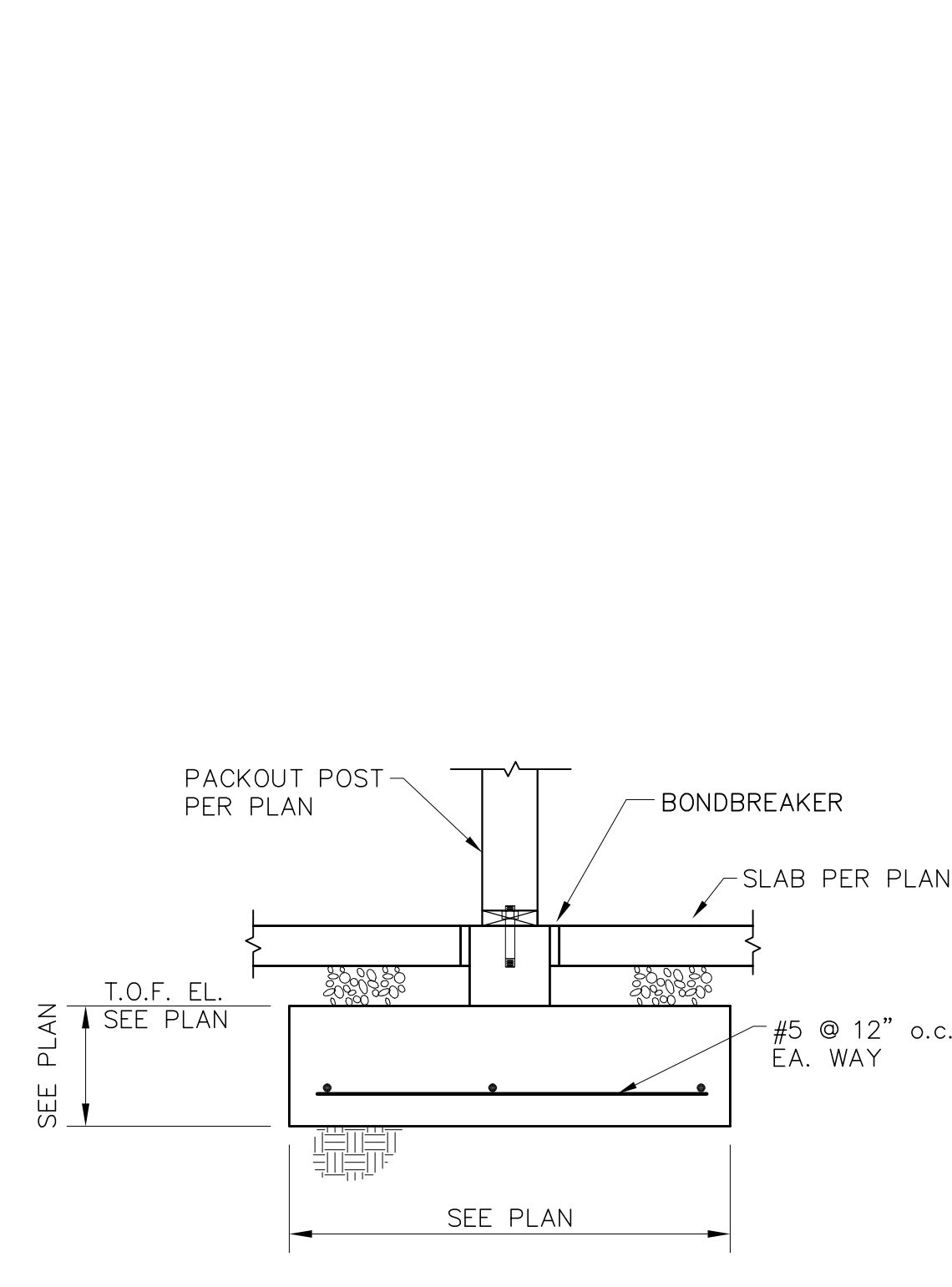
4 FOUNDATION DETAIL

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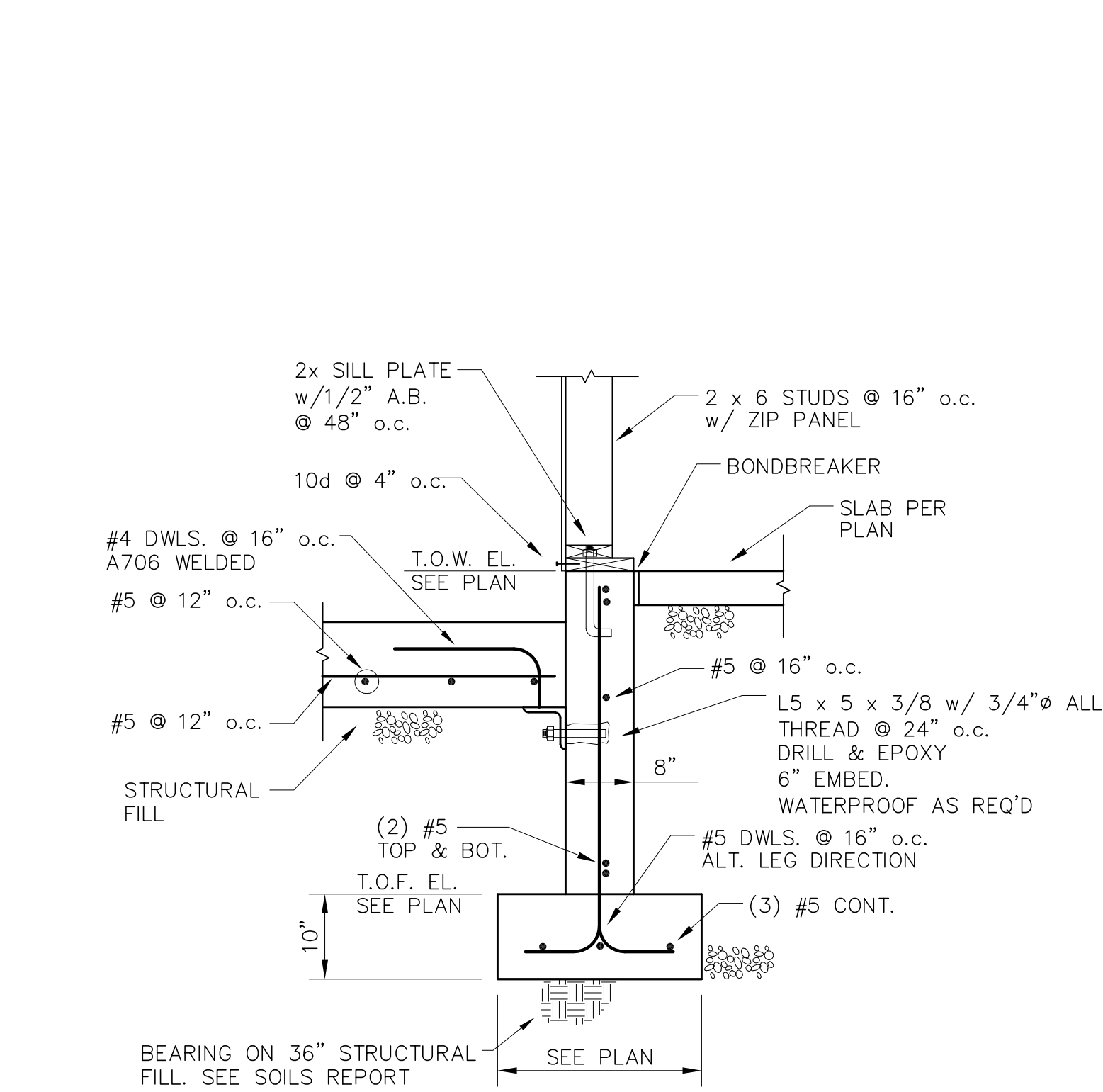
5 FOUNDATION DETAIL

SCALE: 3/4" = 1'-0"



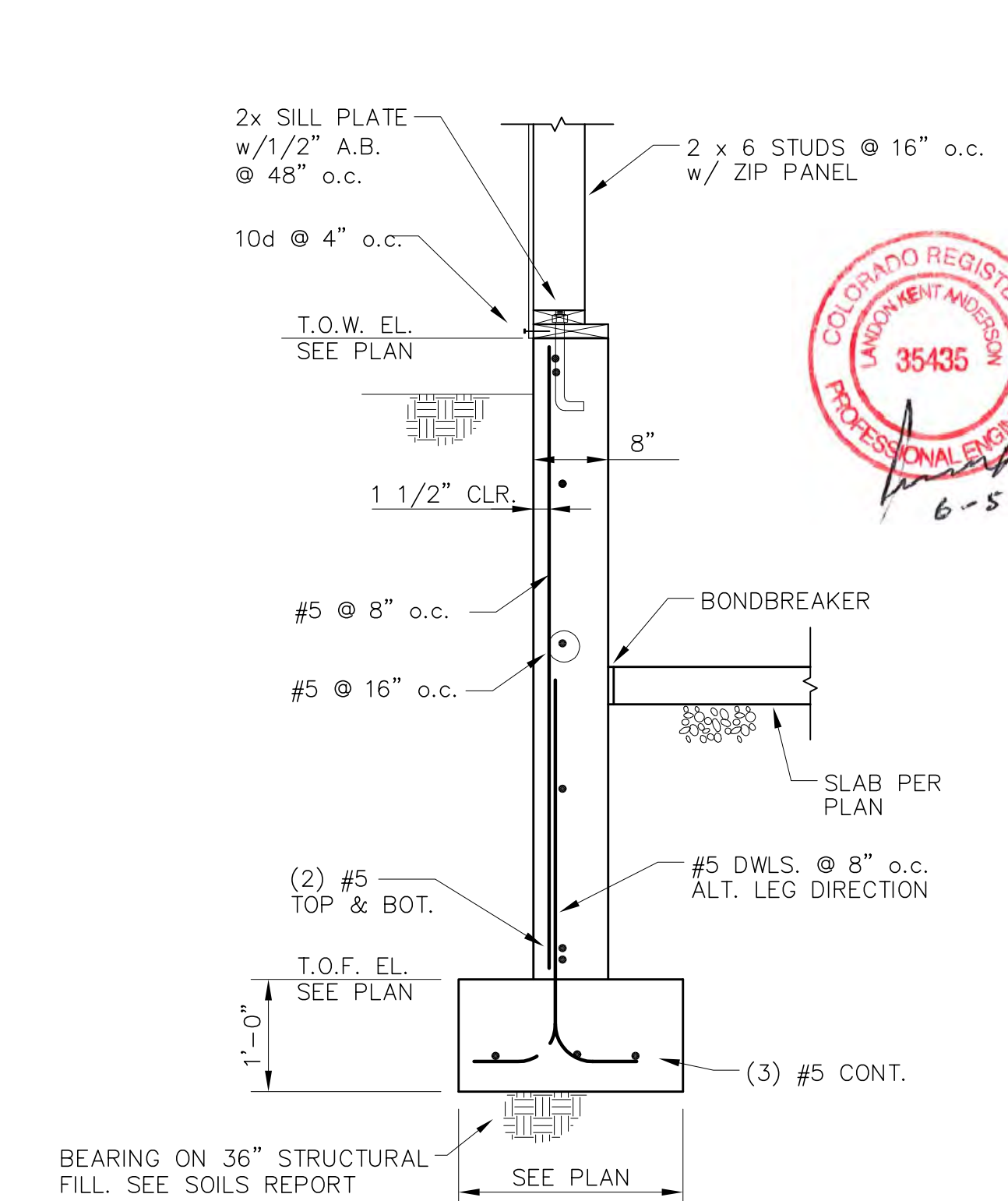
6 FOUNDATION DETAIL

SCALE: 3/4" = 1'-0"



7 FOUNDATION DETAIL

SCALE: 3/4" = 1'-0"



8 FOUNDATION DETAIL

SCALE: 3/4" = 1'-0"





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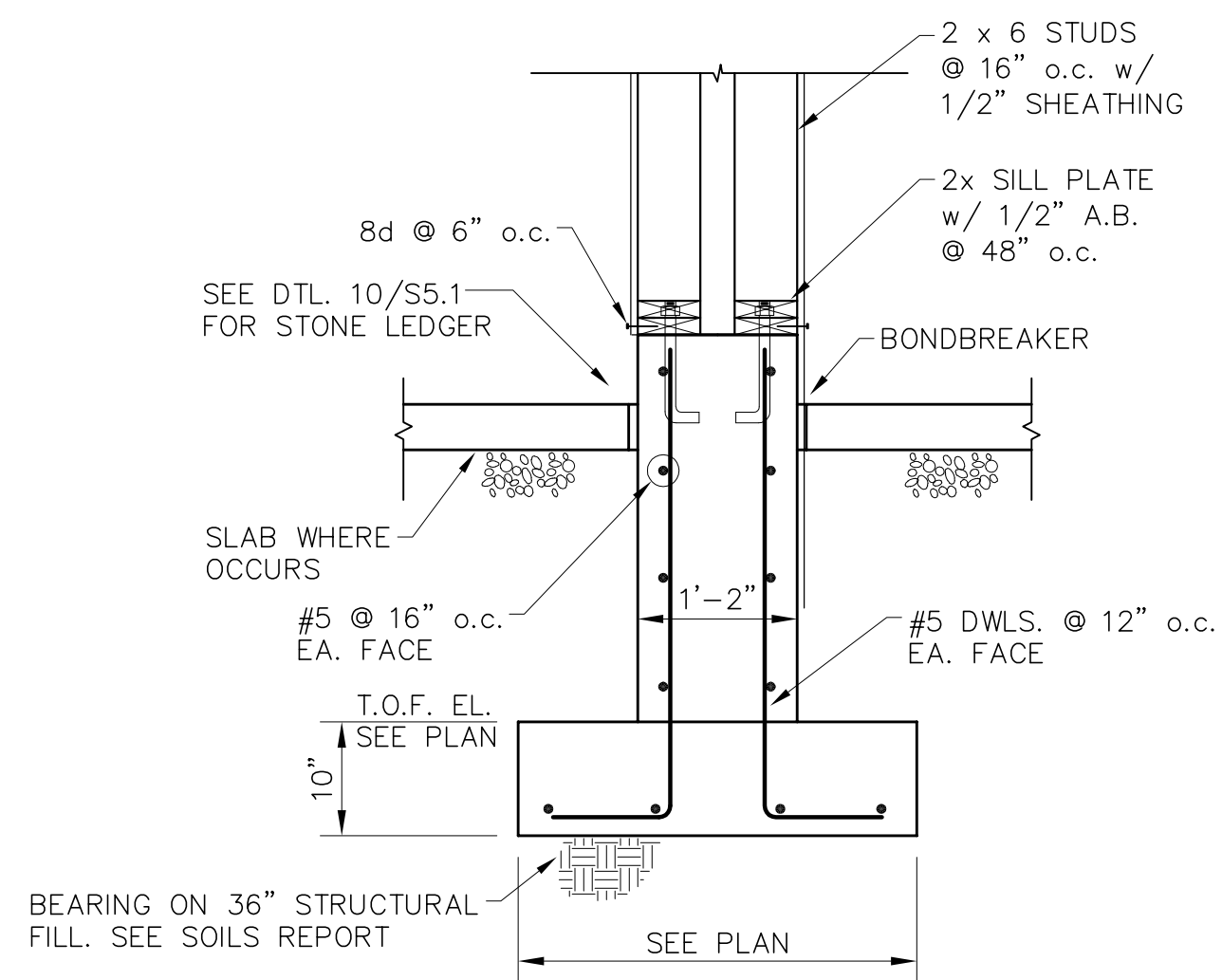
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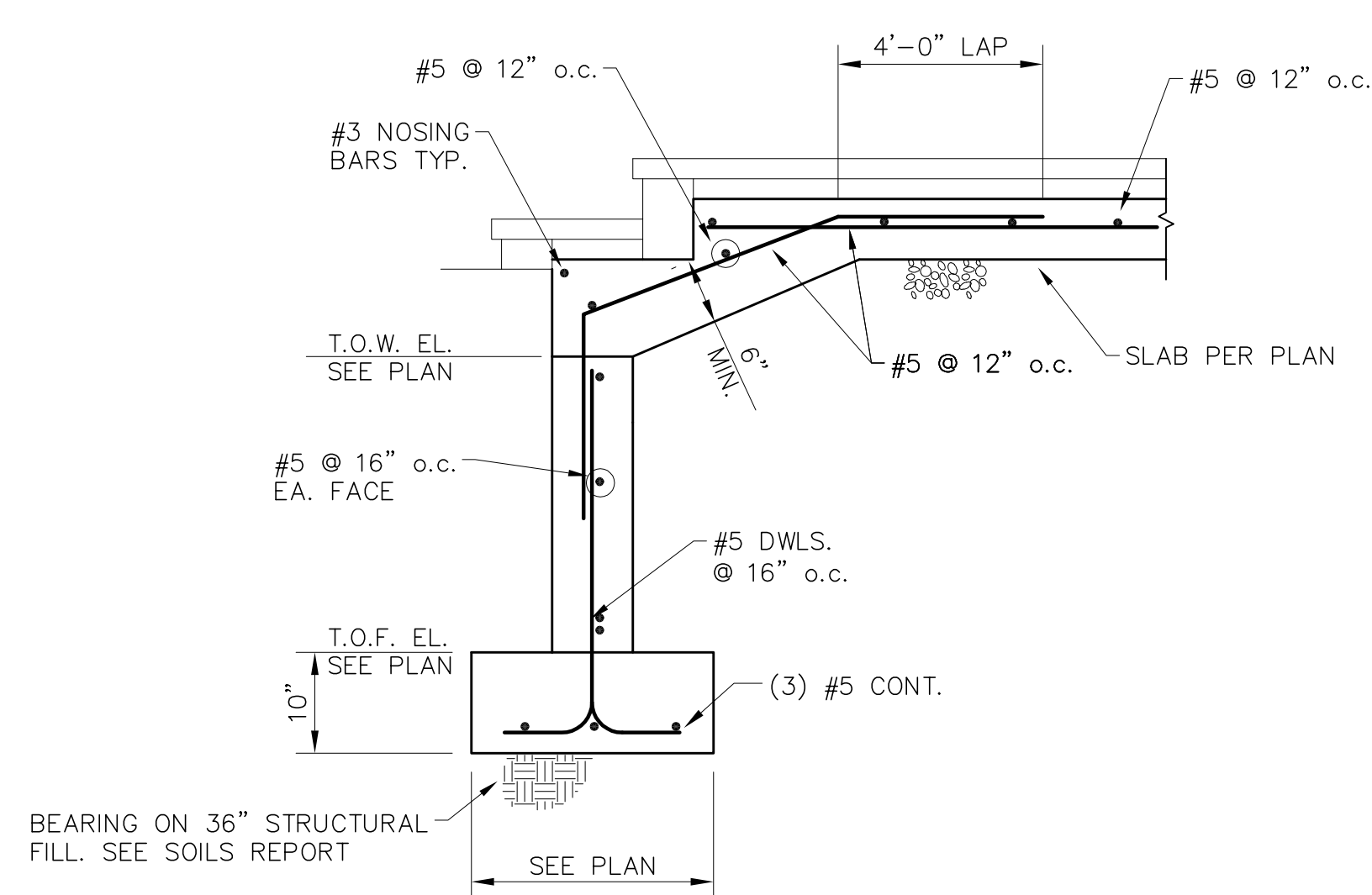
**SECTIONS
AND
DETAILS**

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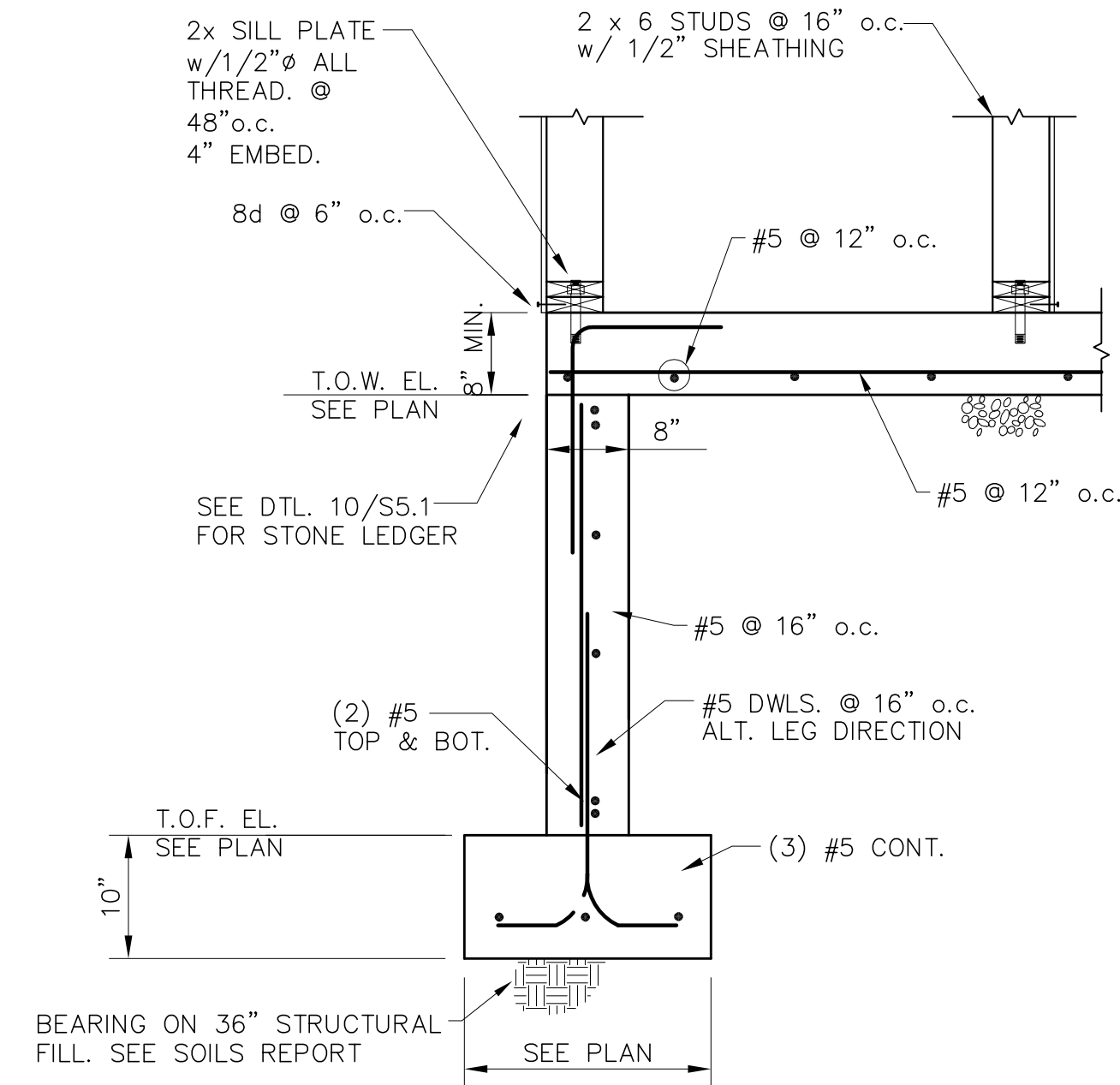
S5.3



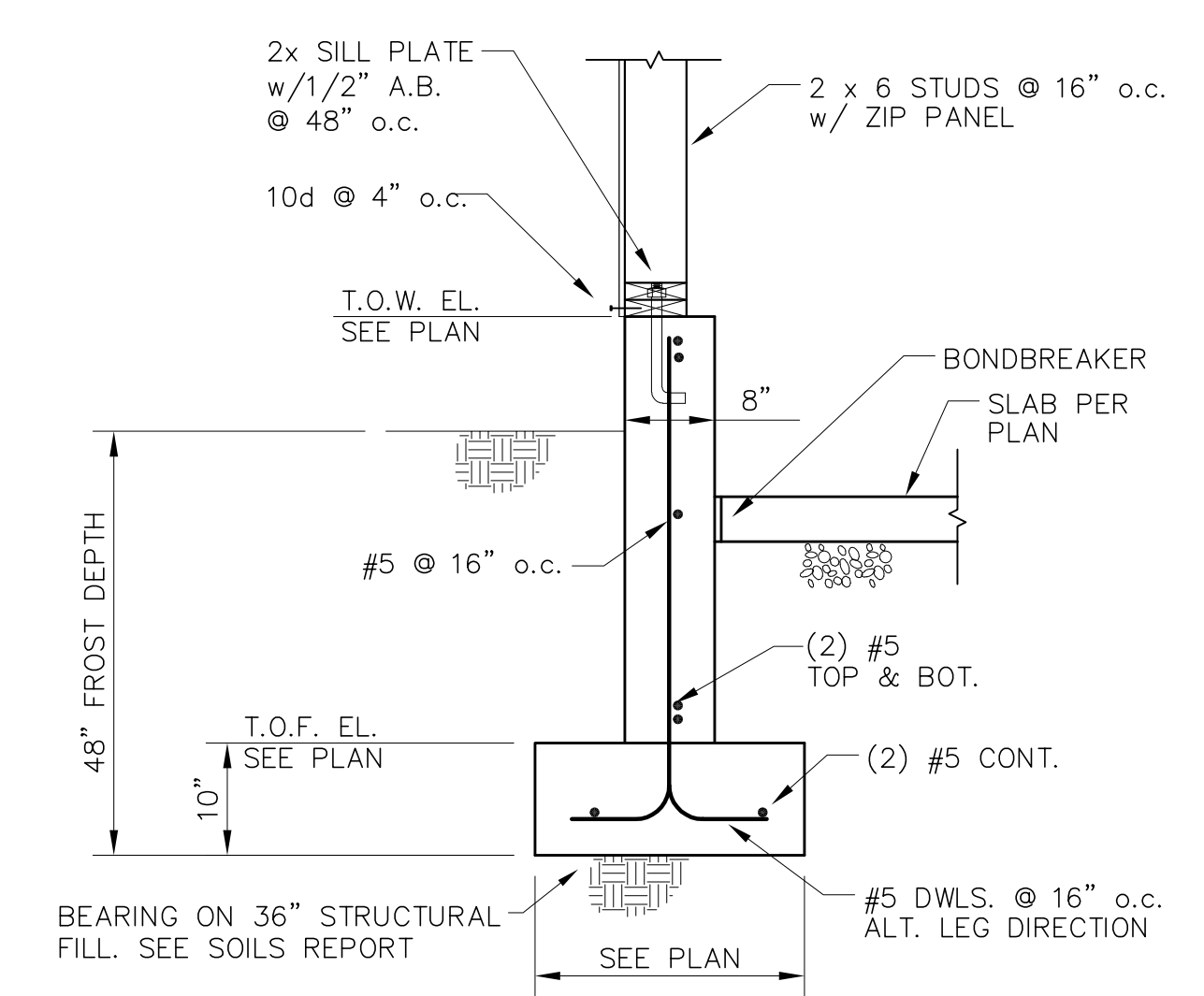
1 FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"



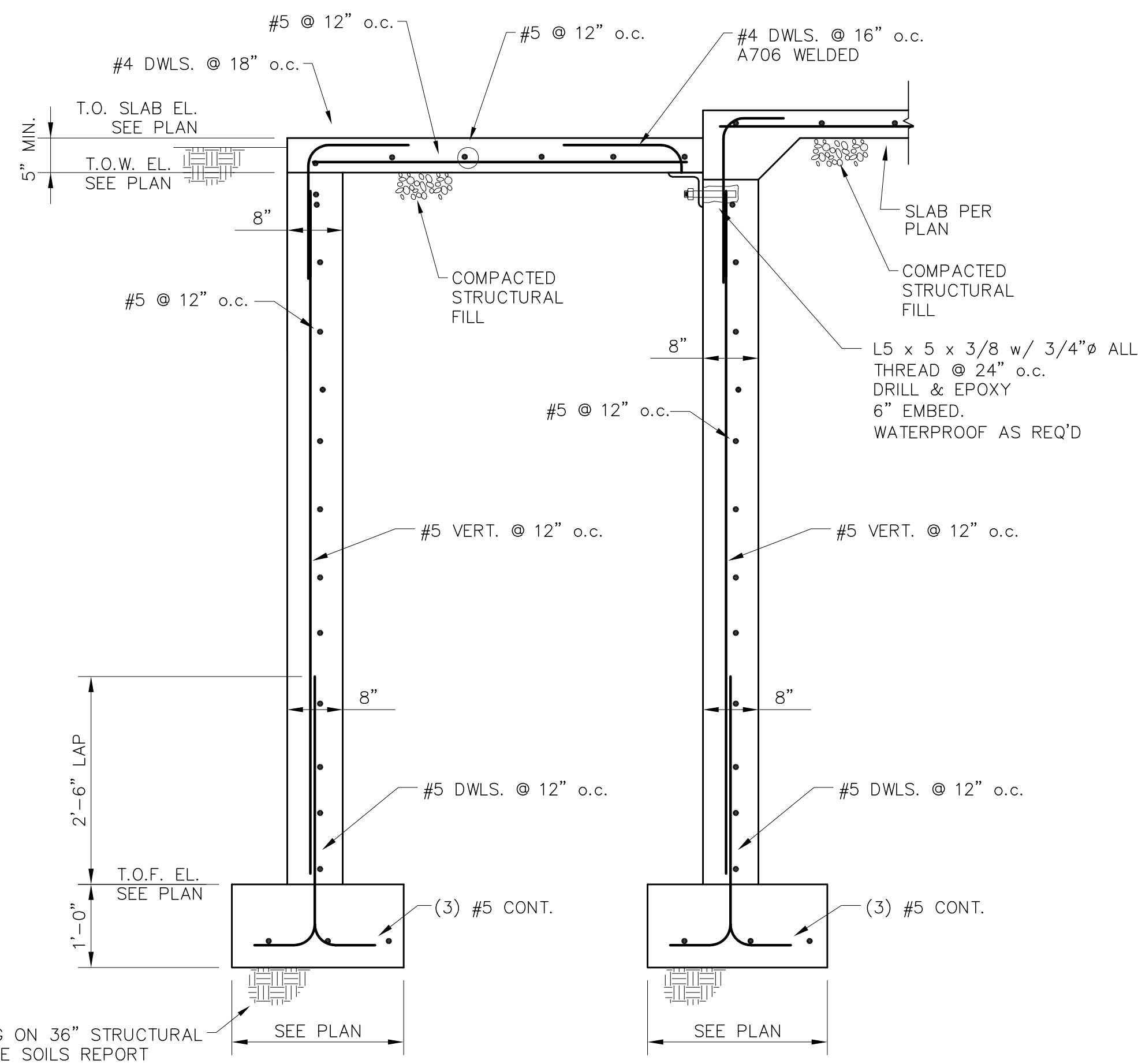
2 FOUNDATION DETAIL
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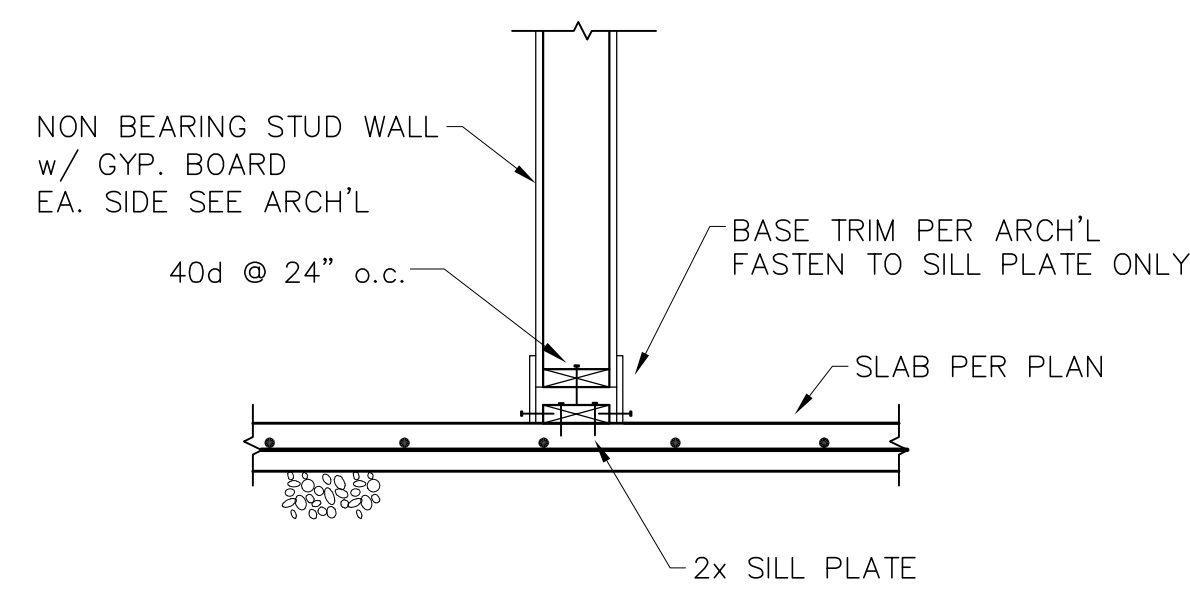
3 FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"



4 FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"



5 FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"



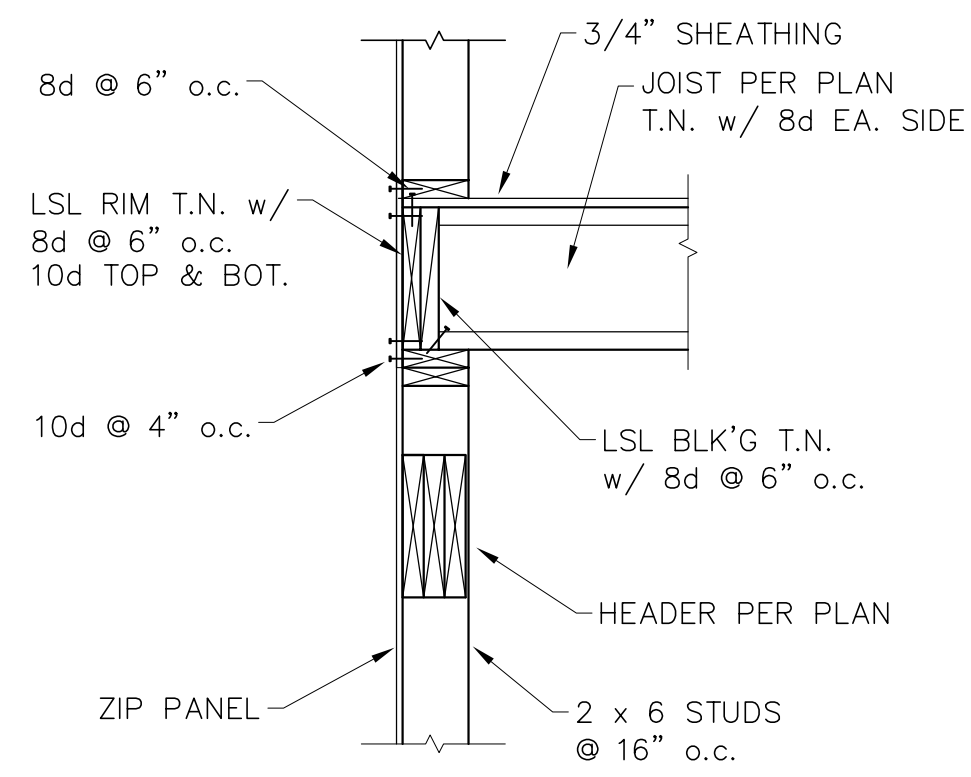
6 SLIP JOINT DETAIL
SCALE: 3/4" = 1'-0"





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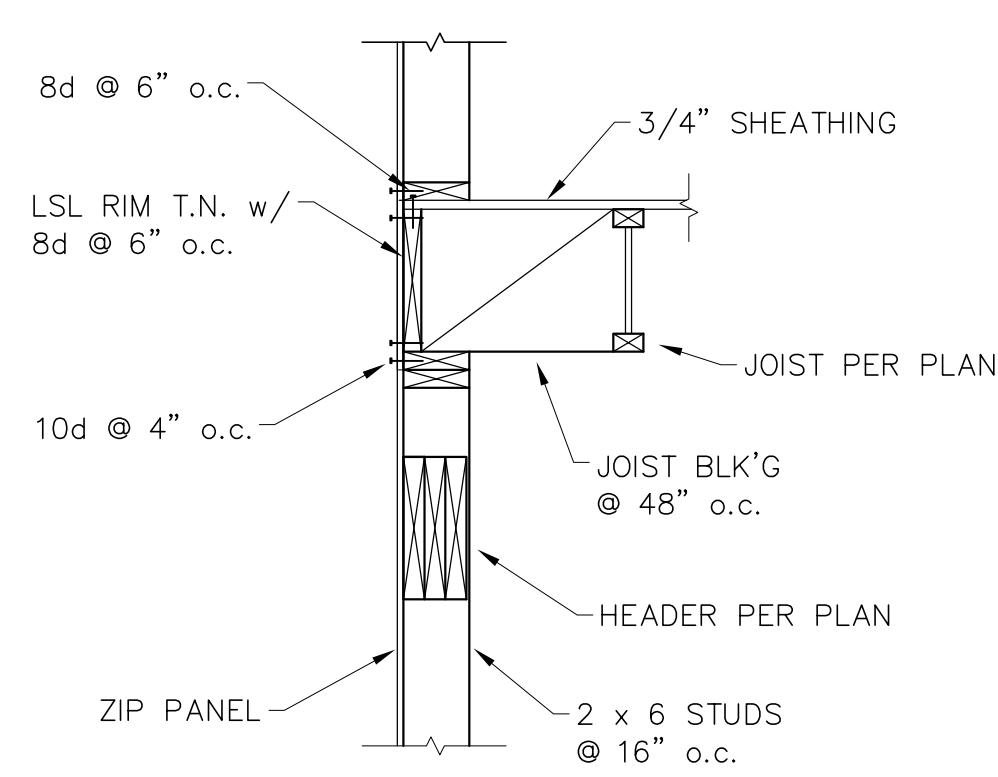
PRIER RESIDENCE
1243 RED DRAW - LOT 15, FILING 11 CORDILLERA
EAGLE COUNTY, COLORADO



SECTION

1 FLOOR FRAMING

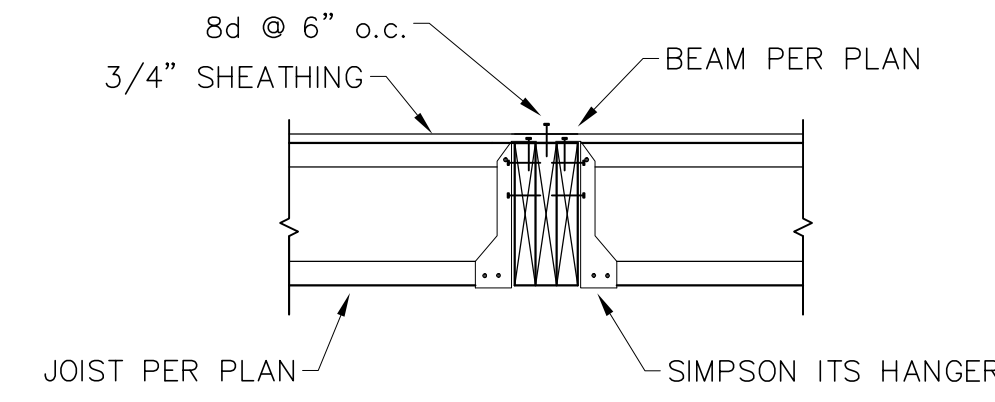
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SECTION

2 FLOOR FRAMING

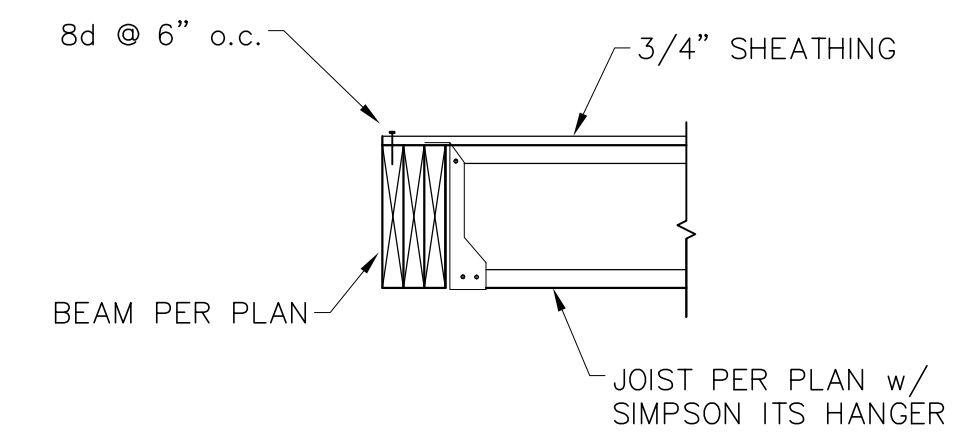
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SECTION

3 FLOOR FRAMING

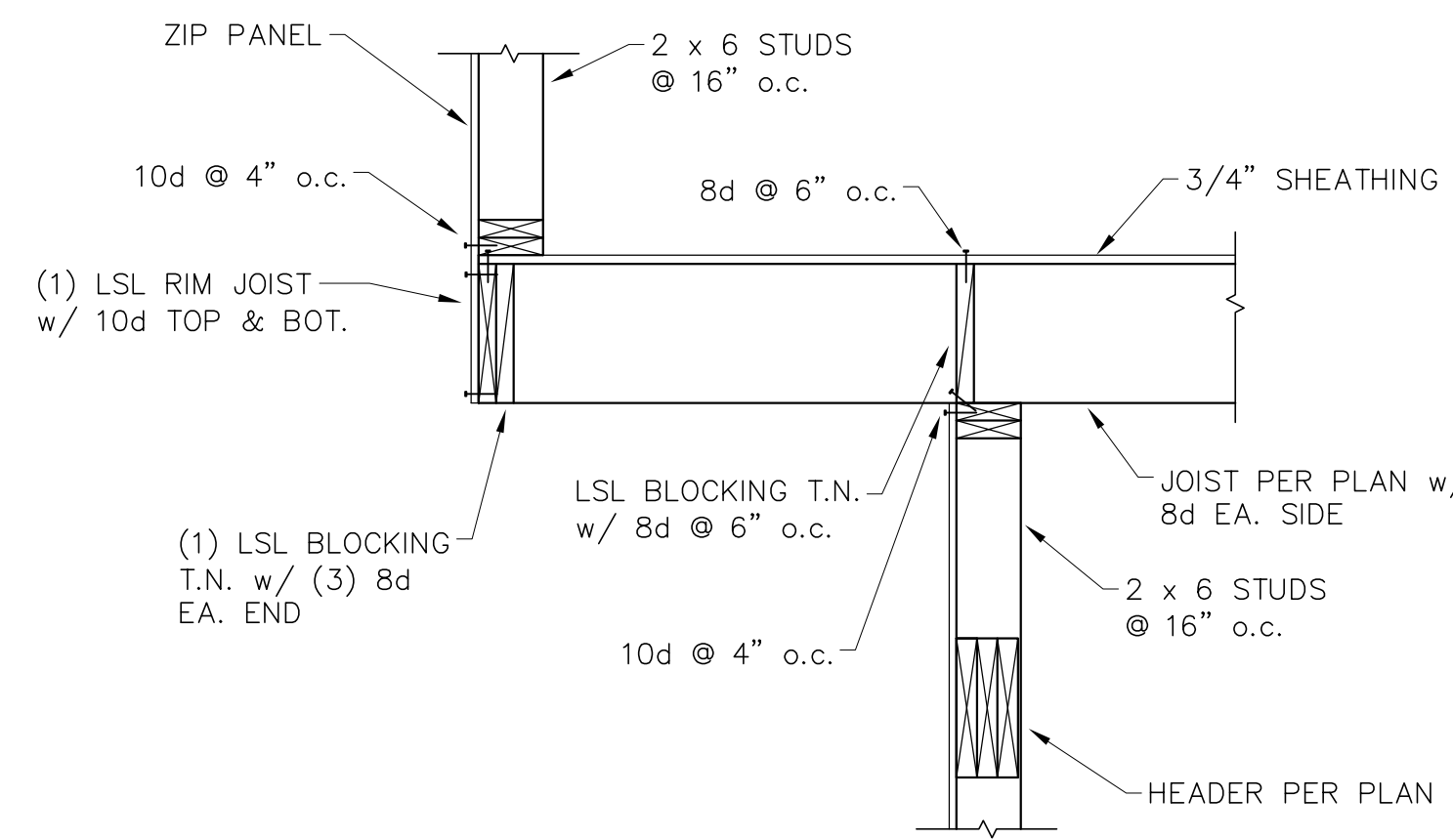
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SECTION

4 FLOOR FRAMING

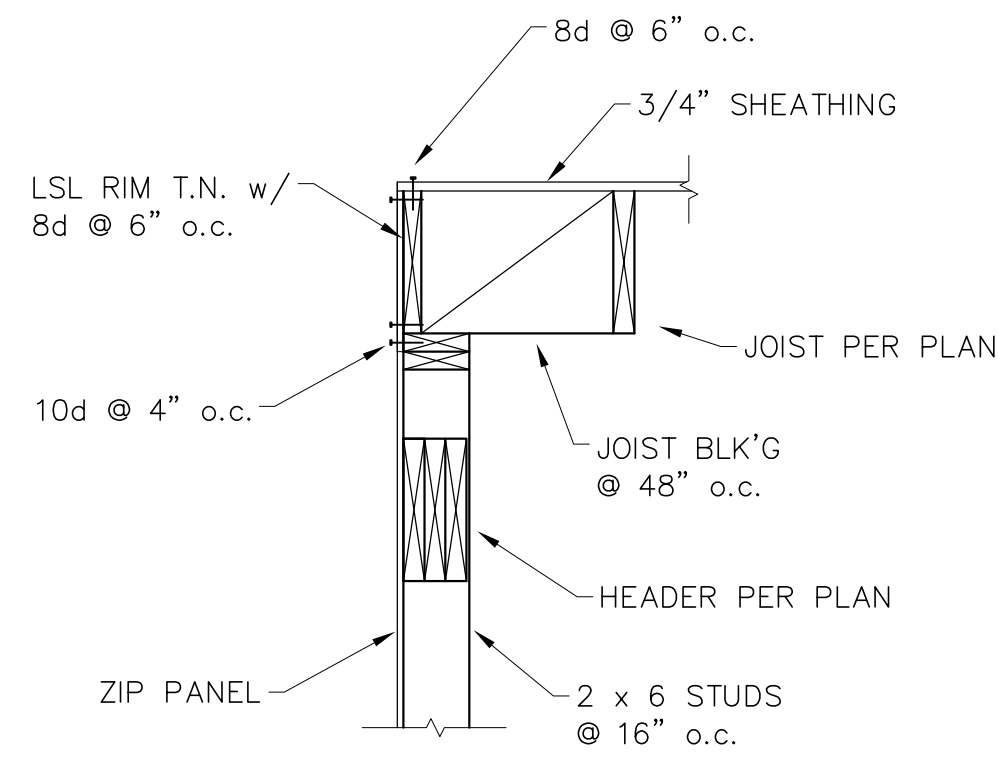
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SECTION

5 FLOOR FRAMING

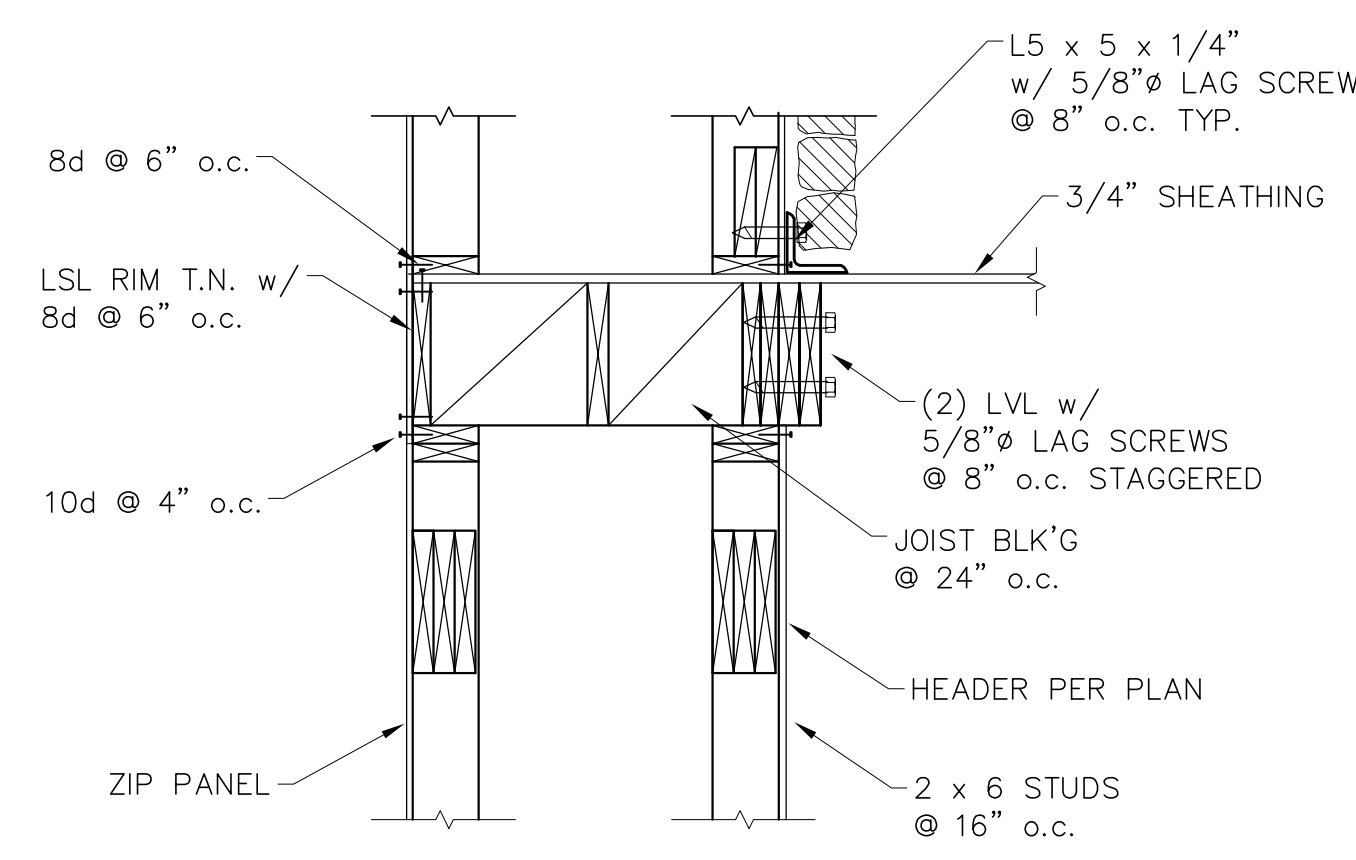
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SECTION

6 FLOOR FRAMING

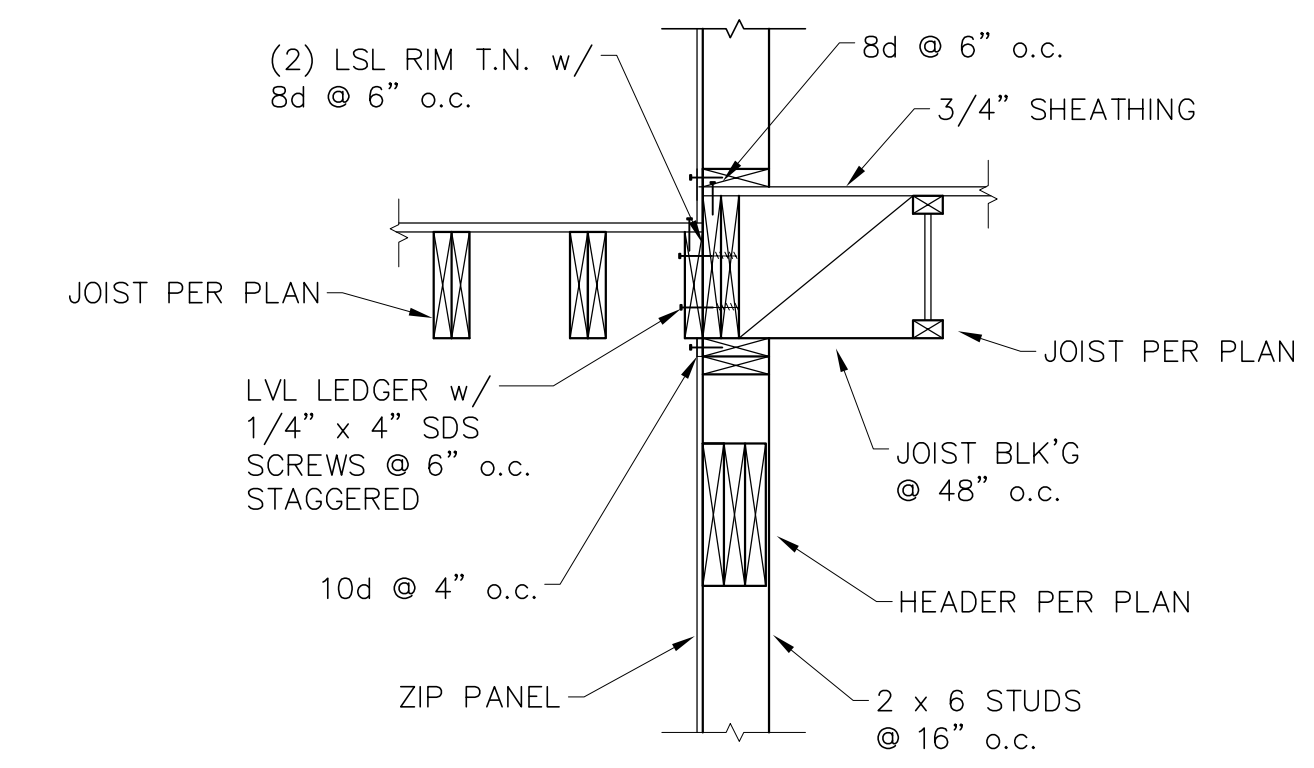
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SECTION

7 FLOOR FRAMING

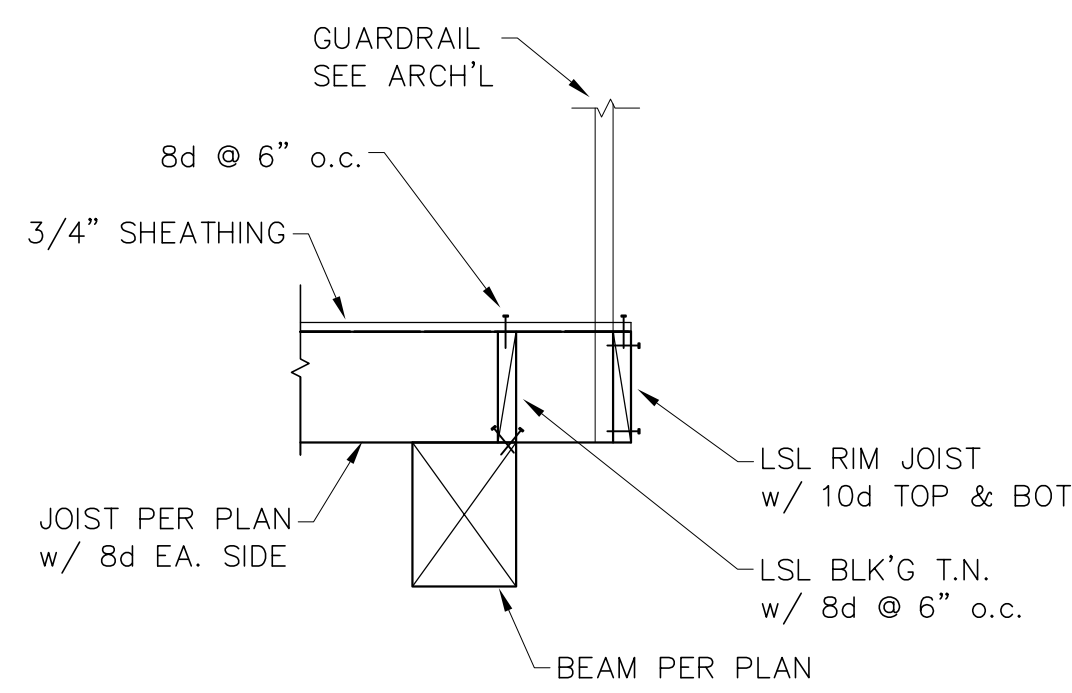
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SECTION

8 FLOOR FRAMING

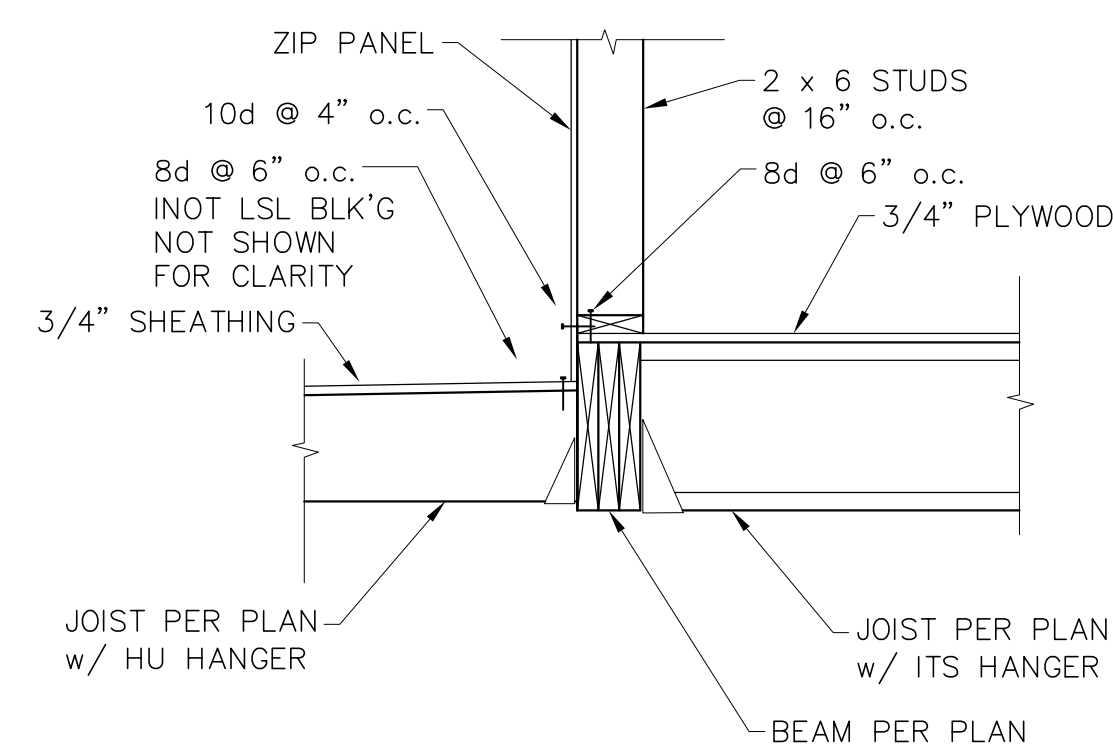
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SECTION

9 FLOOR FRAMING

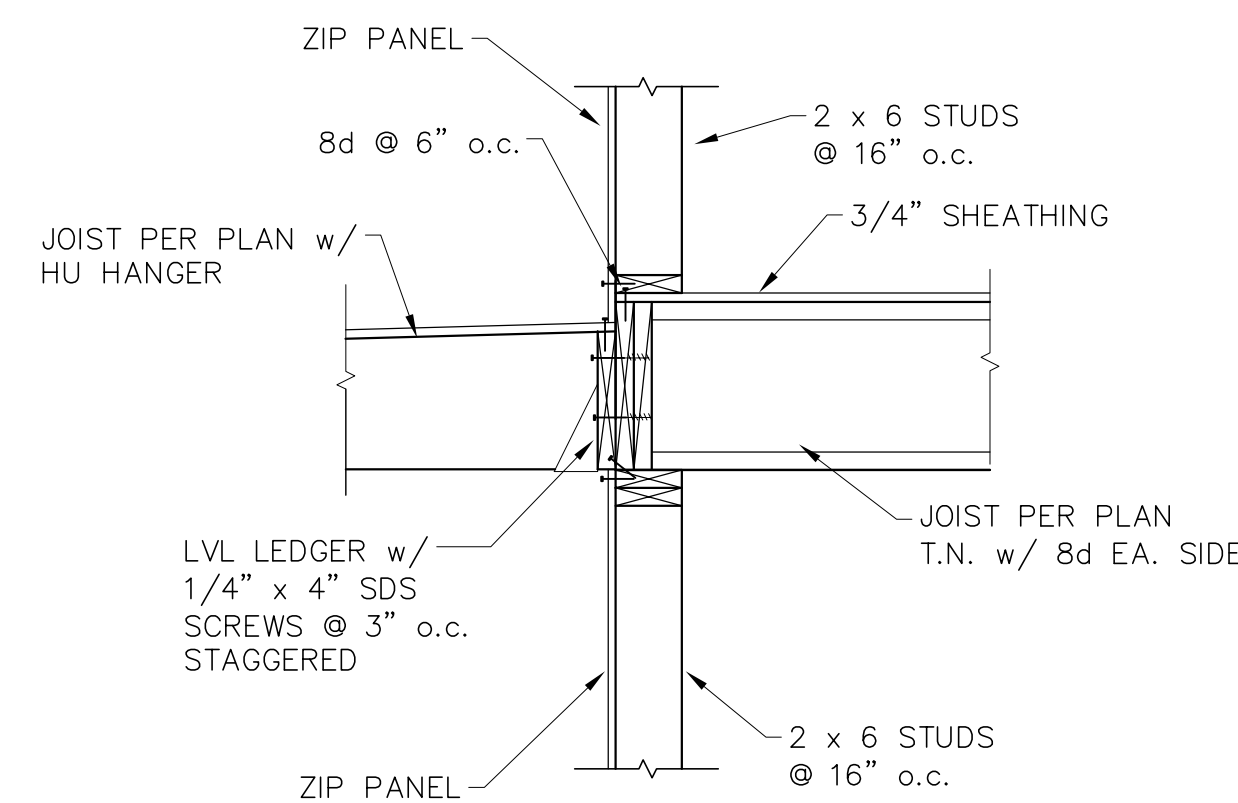
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SECTION

10 FLOOR FRAMING

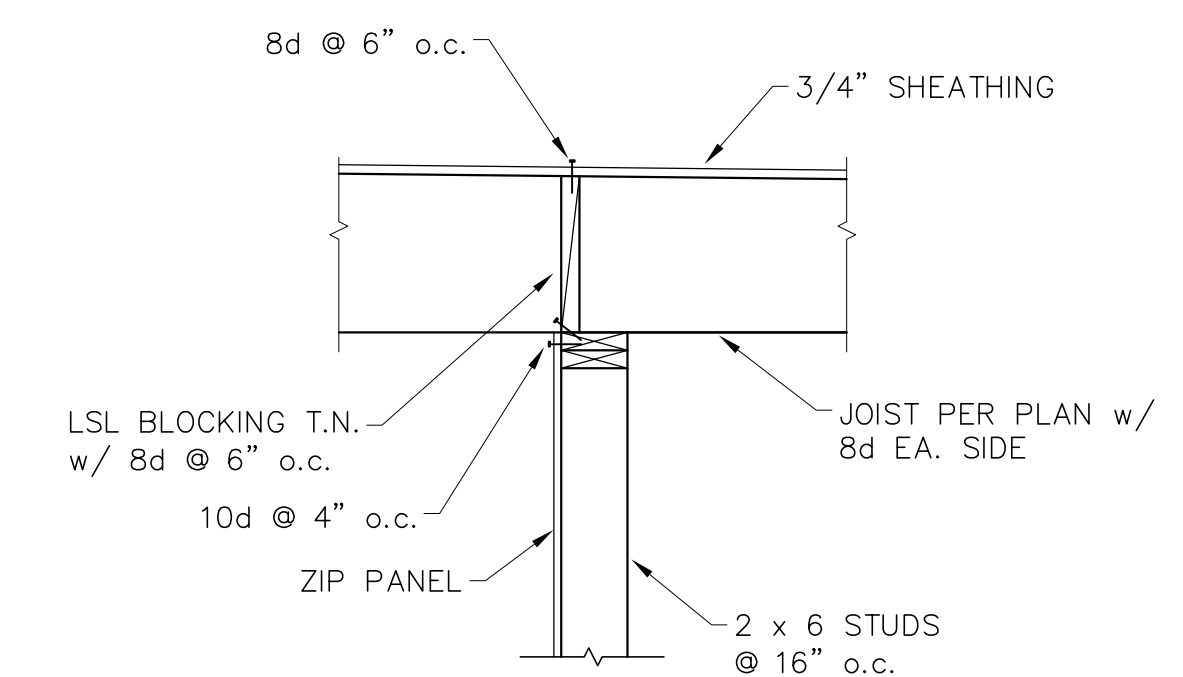
SCALE: 3/4" = 1'-0"



SECTION

11 FLOOR FRAMING

SCALE: 3/4" = 1'-0"



SECTION

12 ROOF FRAMING

SCALE: 3/4" = 1'-0"

ASE Project No.: 2300-14
Drawn By: ADC
Checked By: LKA

Revision	Date
COORDINATION	5-11-23
PERMIT	6-05-23

**SECTIONS
AND
DETAILS**

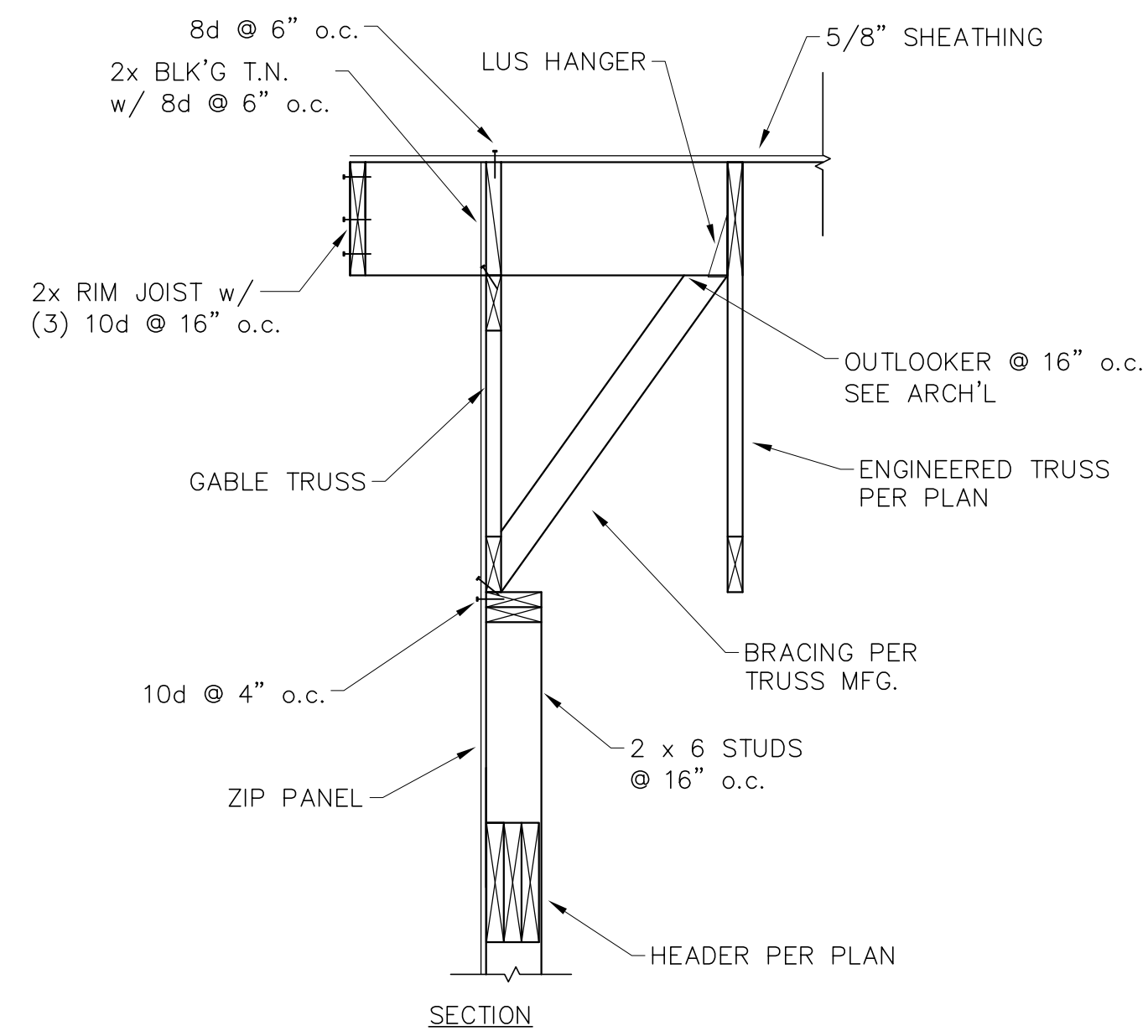
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S5.4

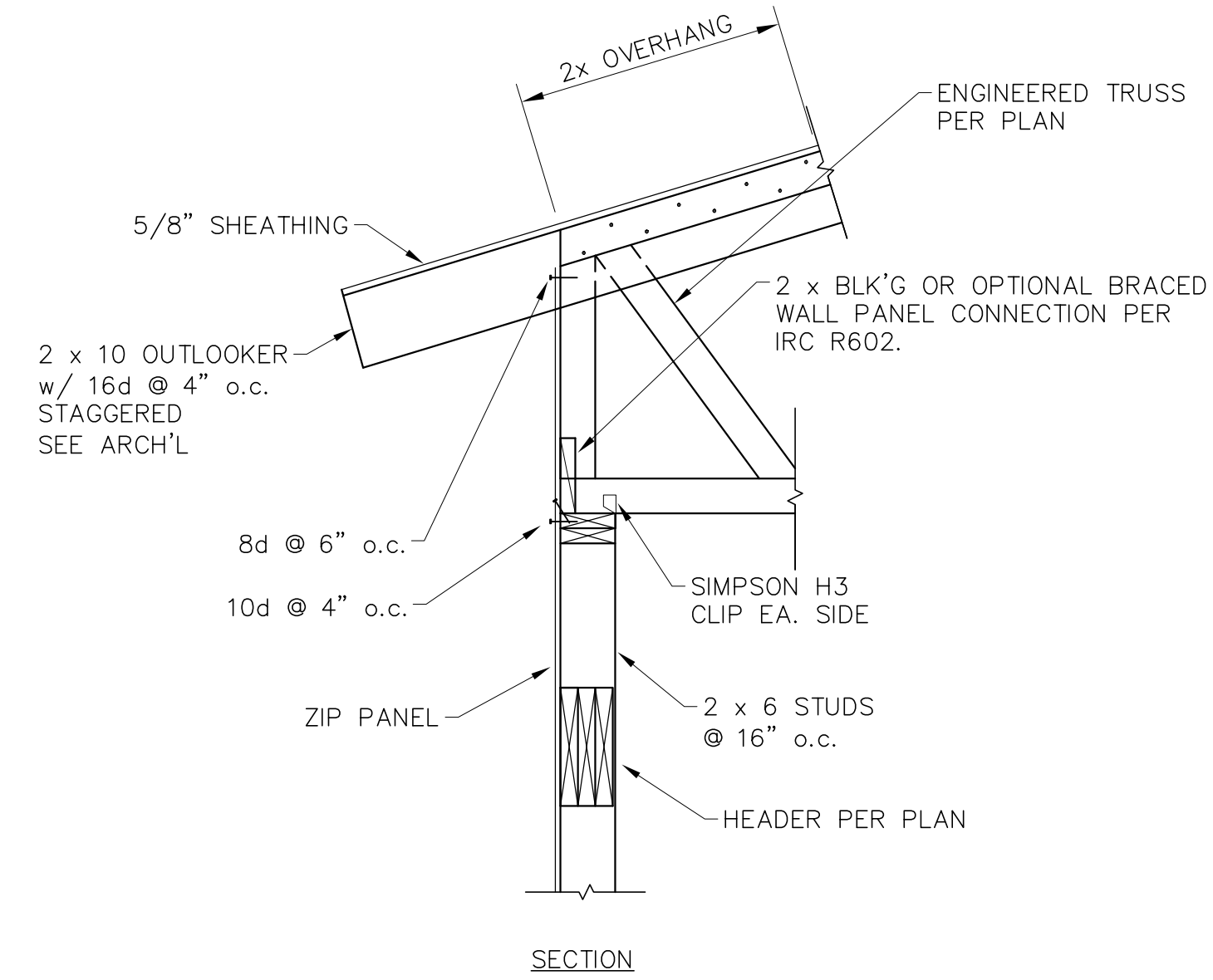


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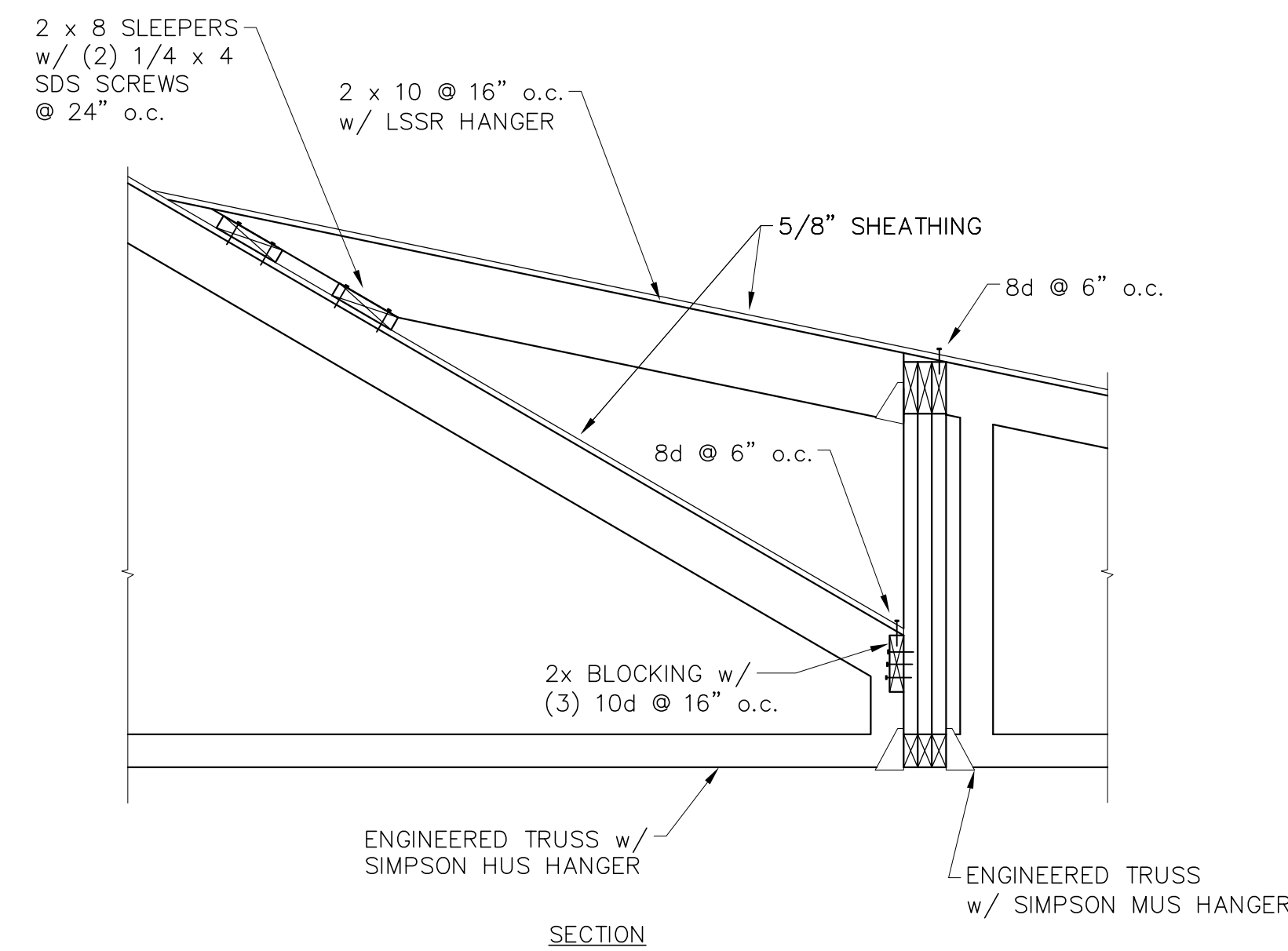
PRIER RESIDENCE
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 EAGLE COUNTY, COLORADO



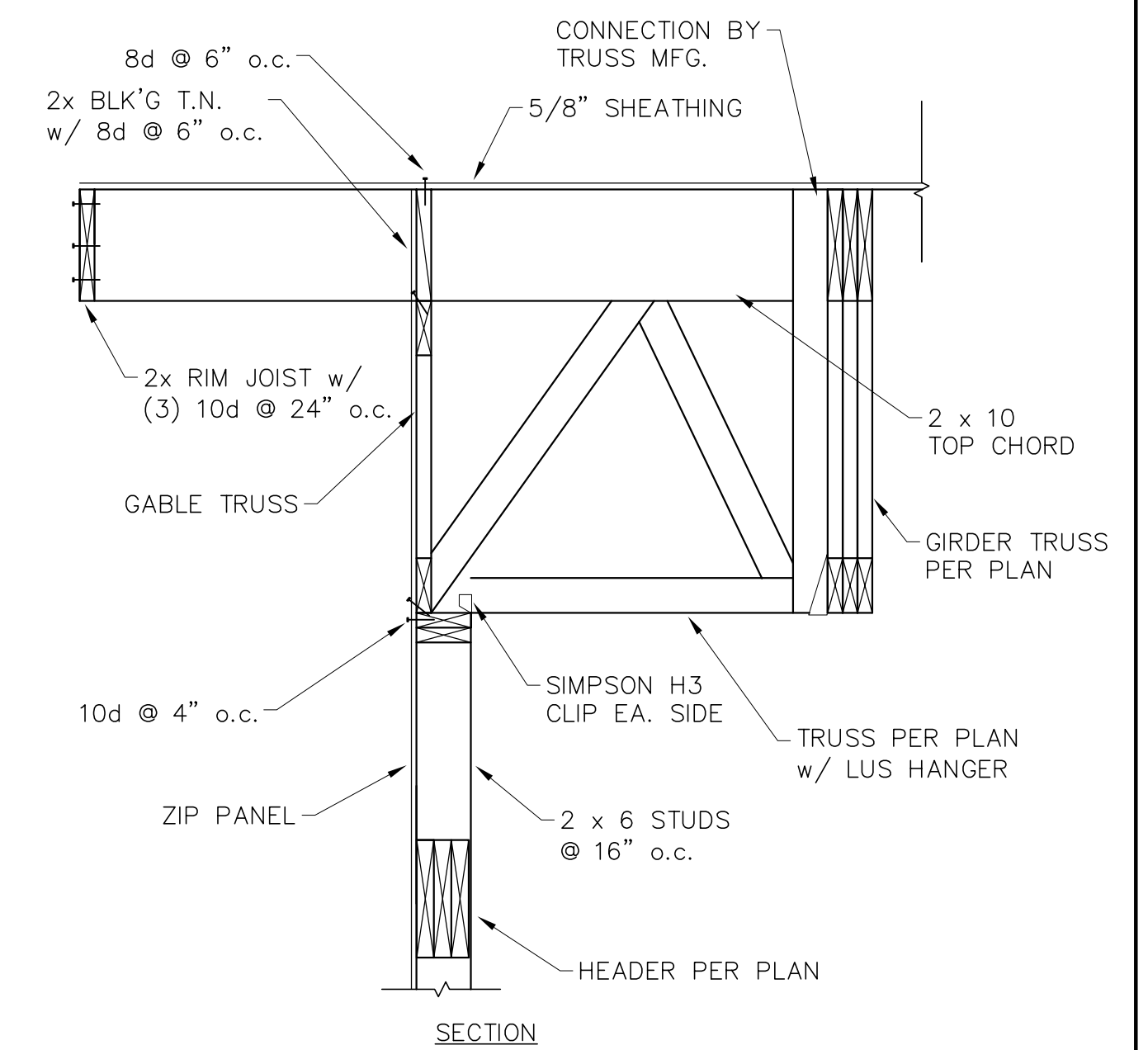
1 ROOF FRAMING
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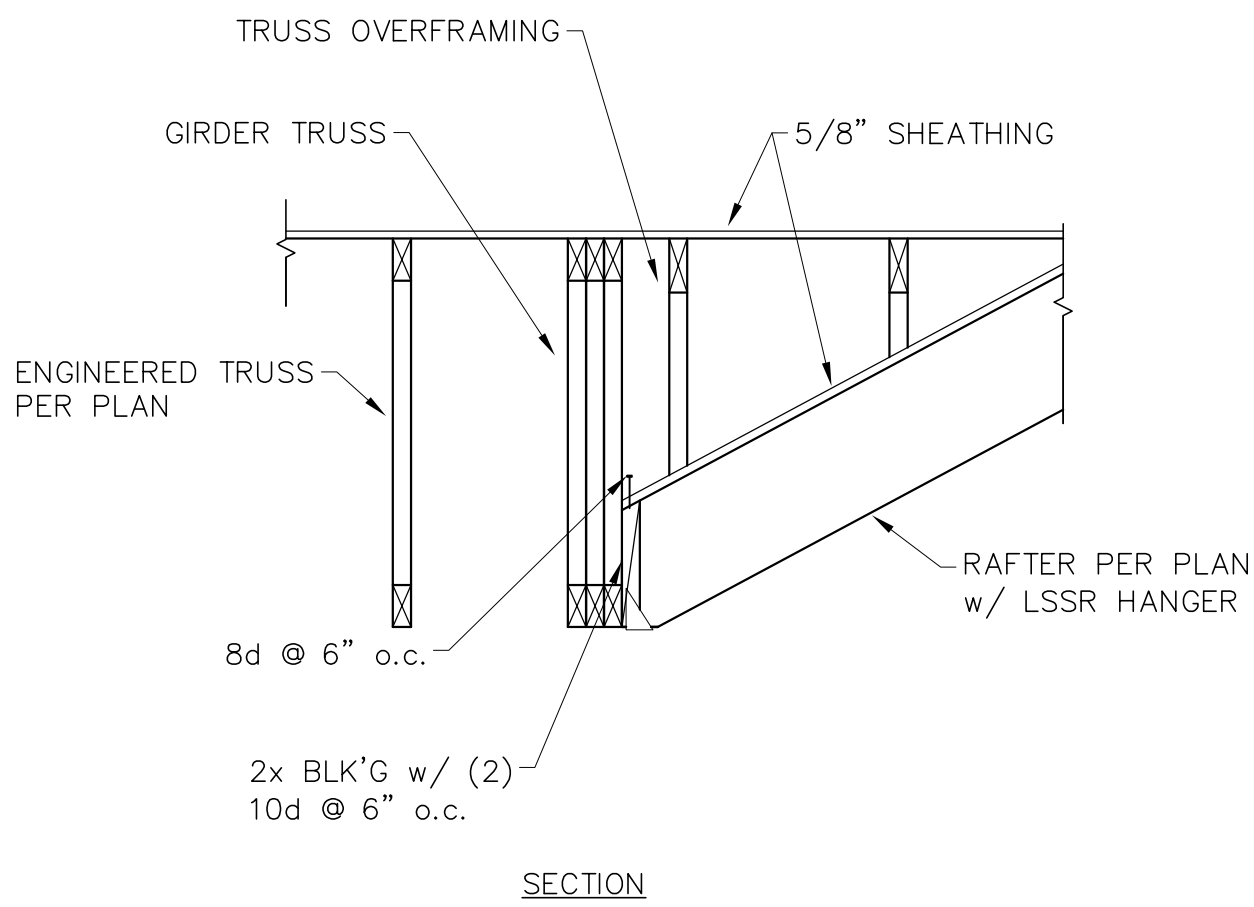
2 ROOF FRAMING
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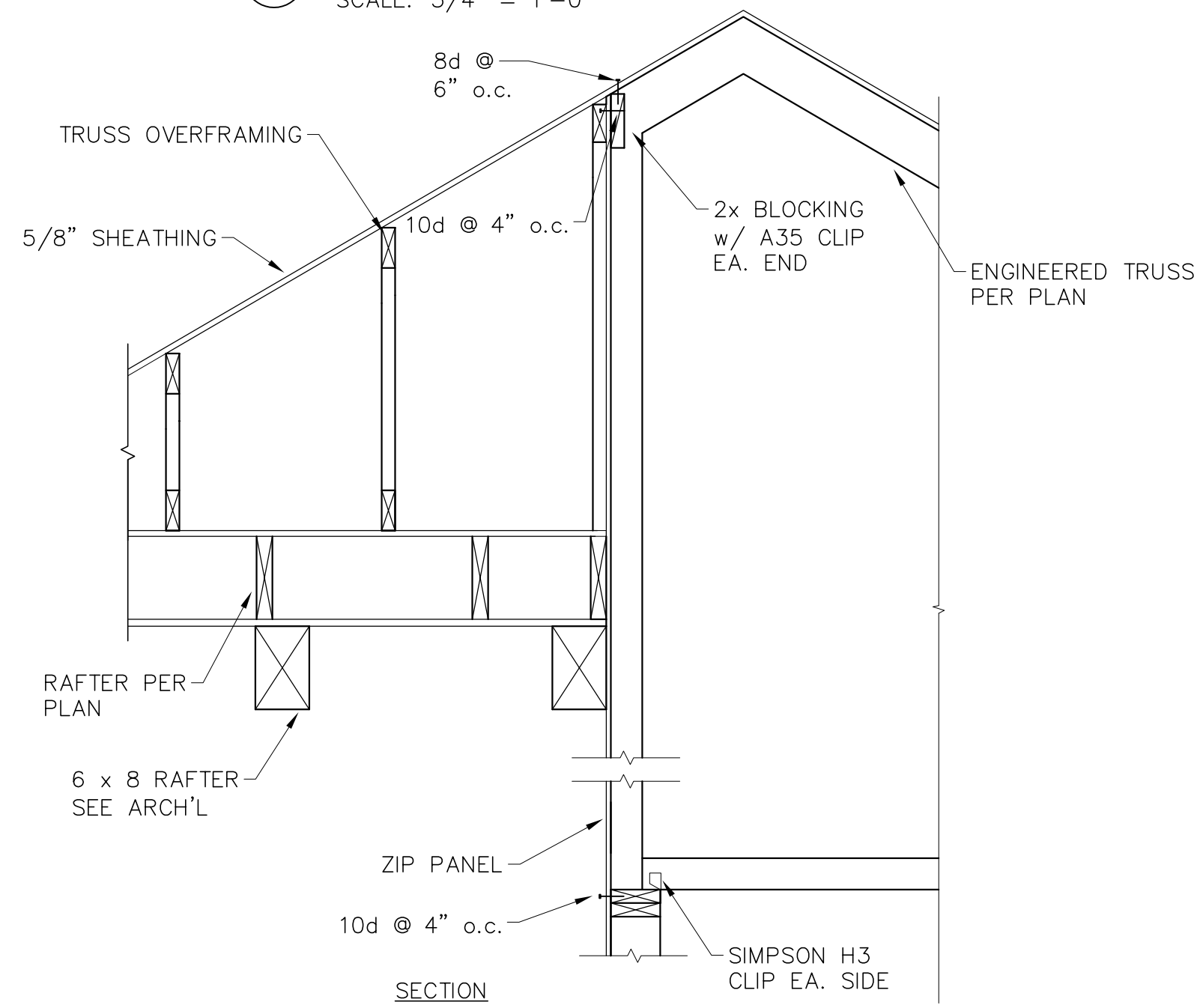
3 ROOF FRAMING
 SCALE: 3/4" = 1'-0"



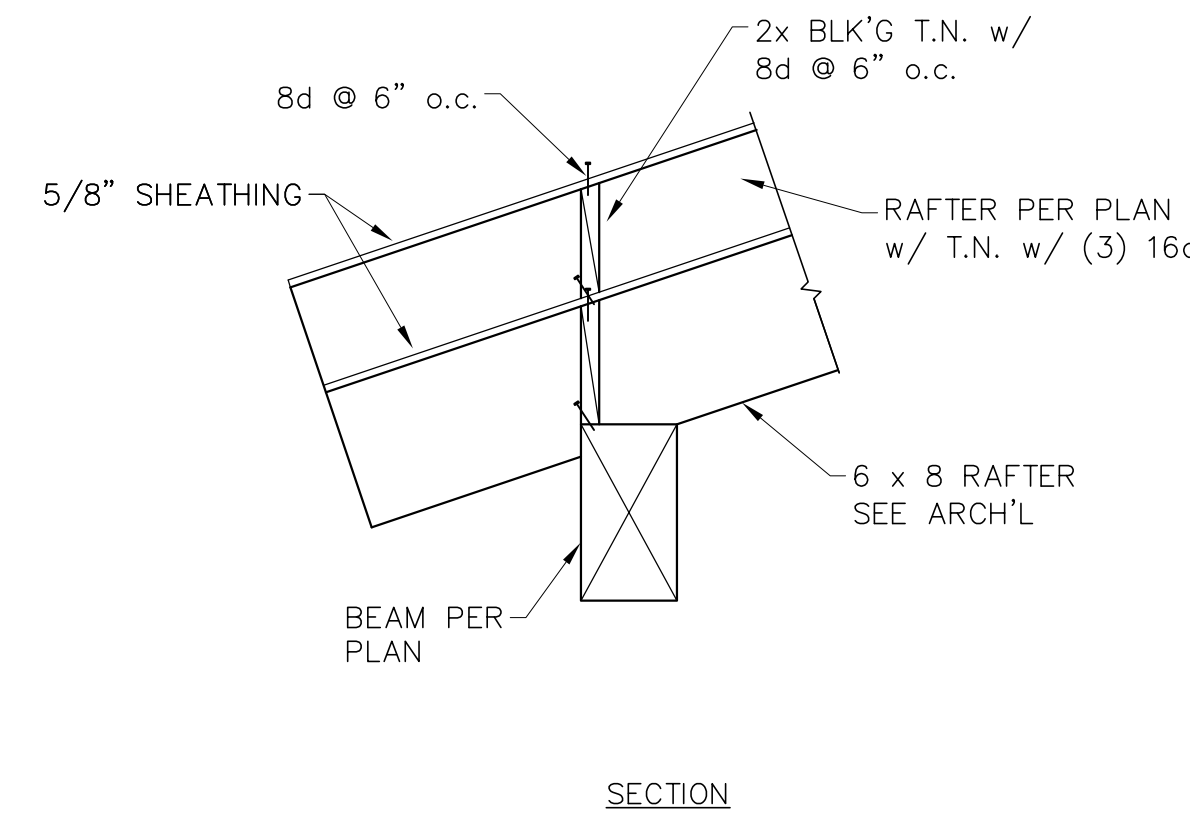
4 ROOF FRAMING
 SCALE: 3/4" = 1'-0"



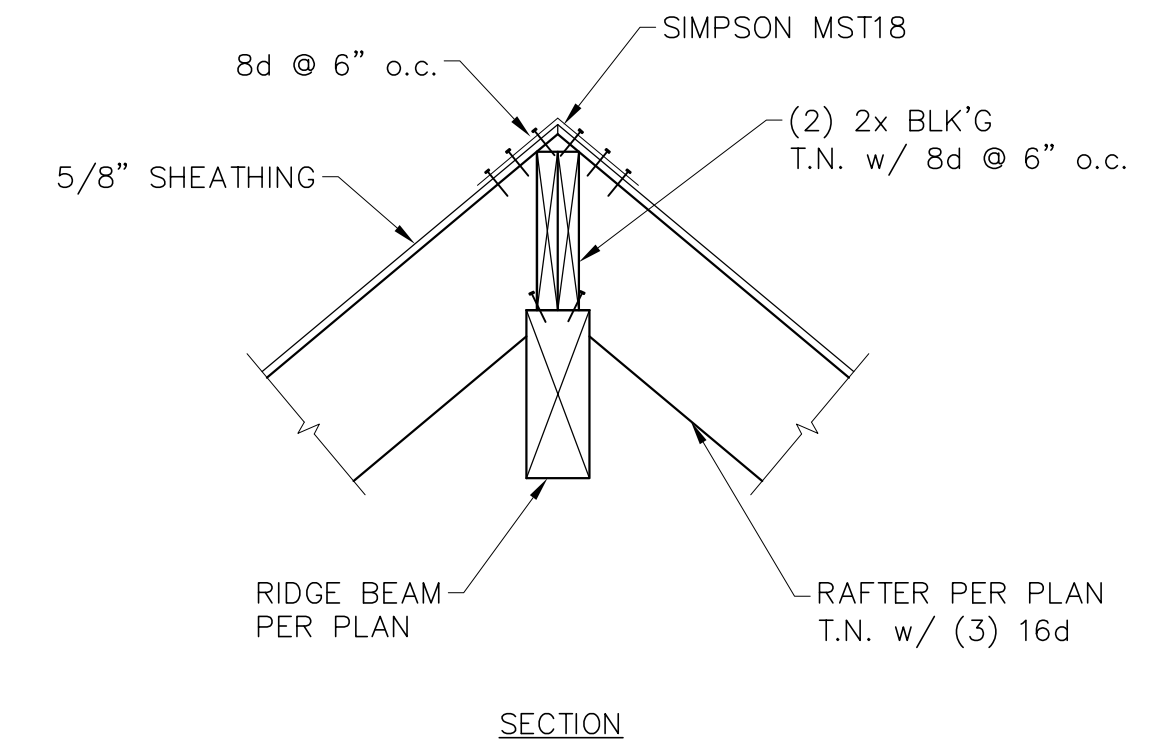
5 ROOF FRAMING
 SCALE: 3/4" = 1'-0"



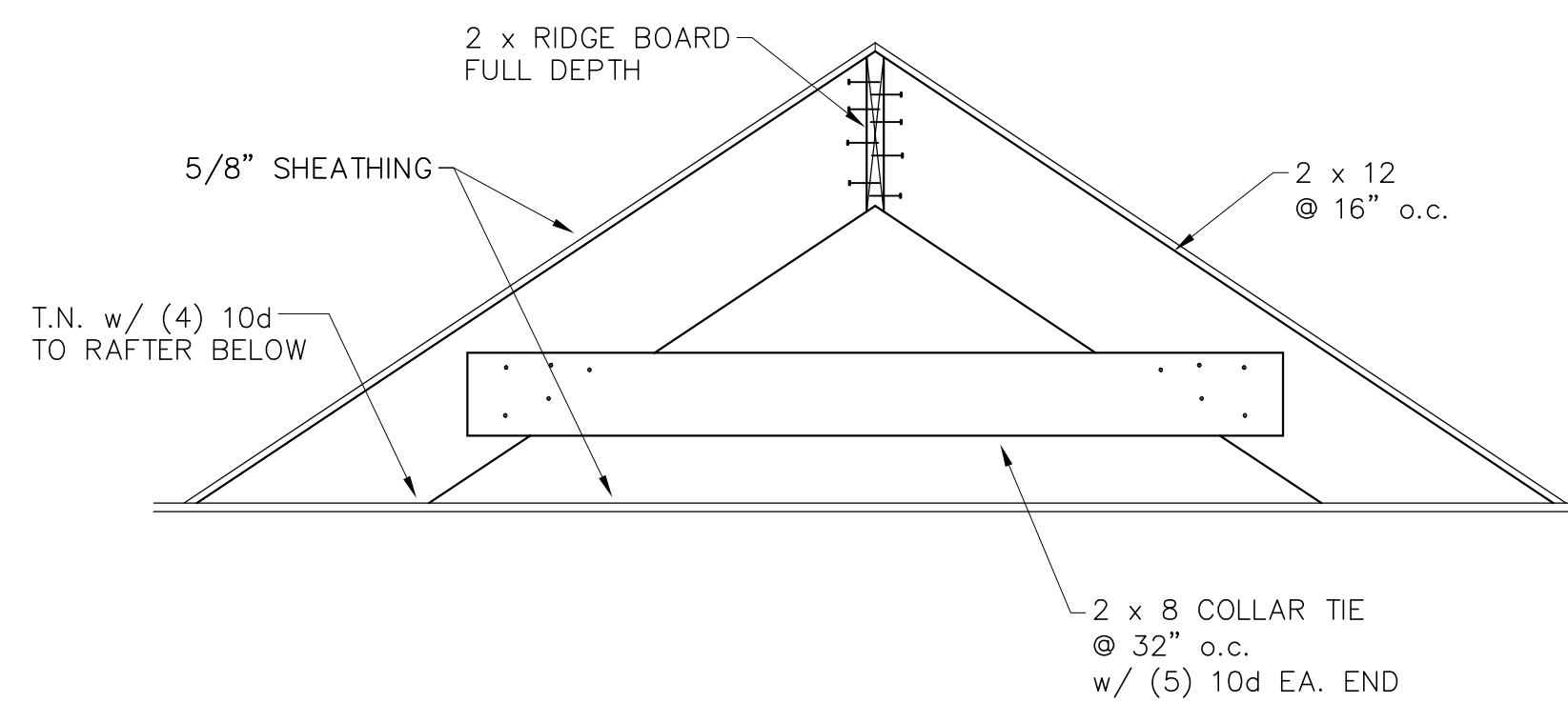
6 ROOF FRAMING
 SCALE: 3/4" = 1'-0"



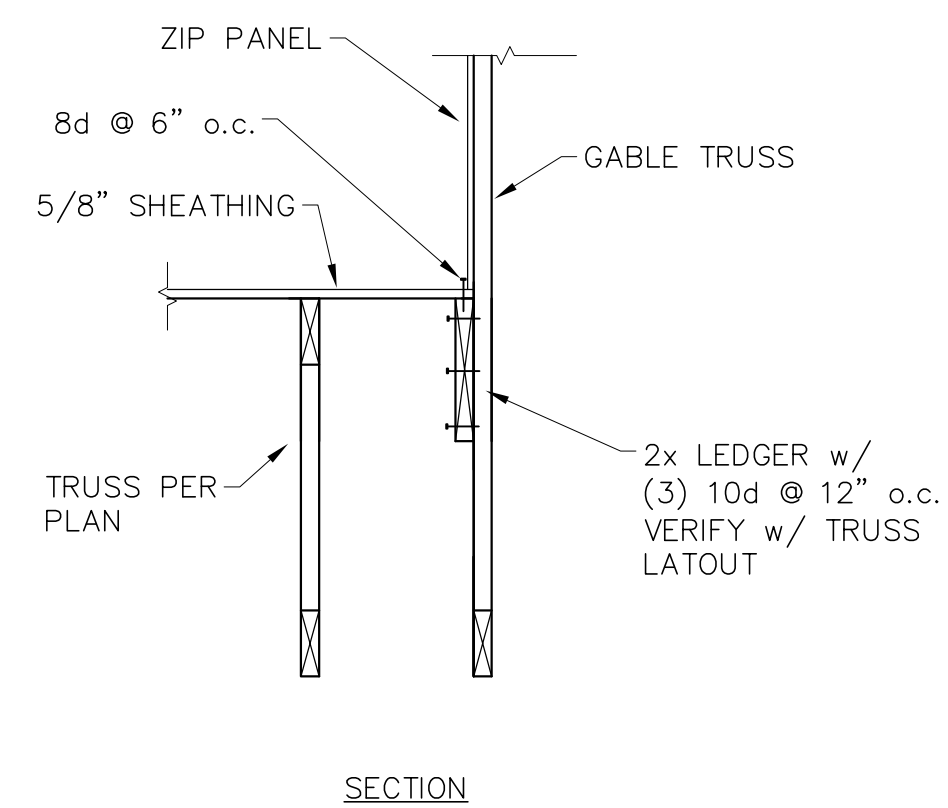
7 ROOF FRAMING
 SCALE: 3/4" = 1'-0"



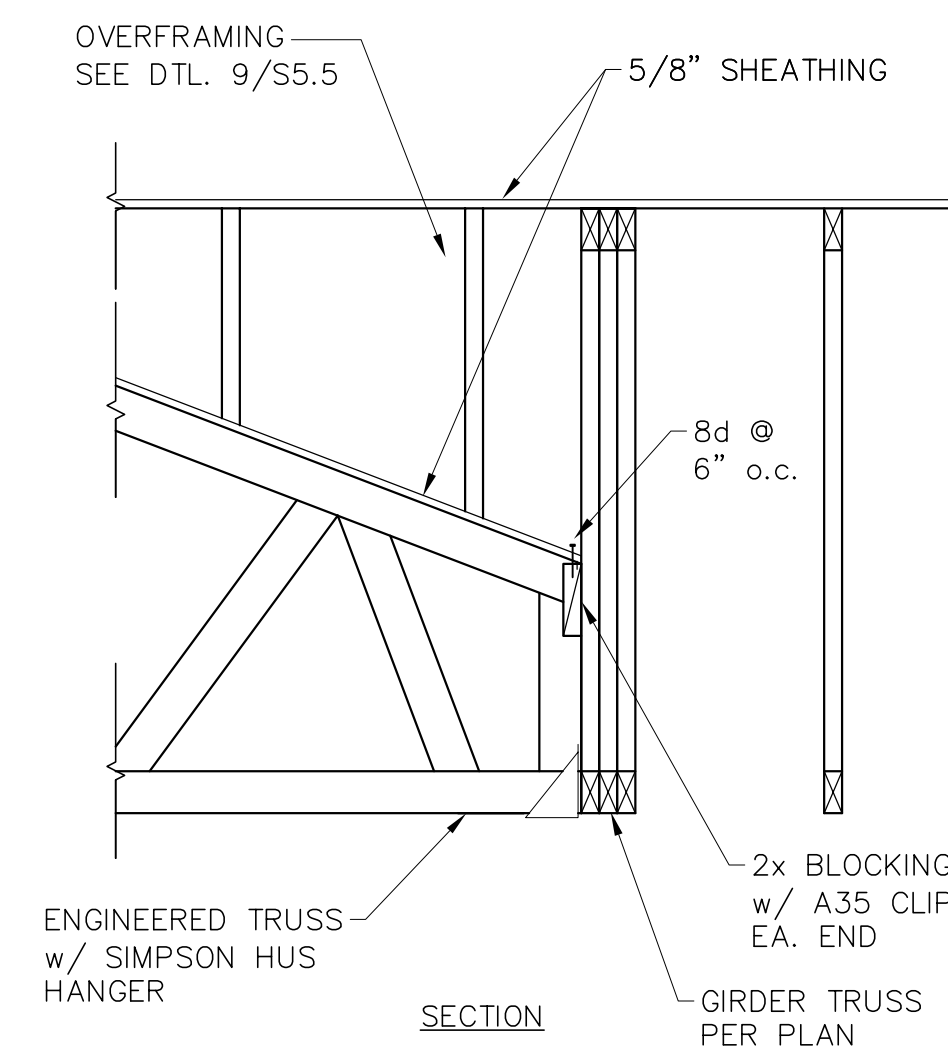
8 ROOF FRAMING
 SCALE: 3/4" = 1'-0"



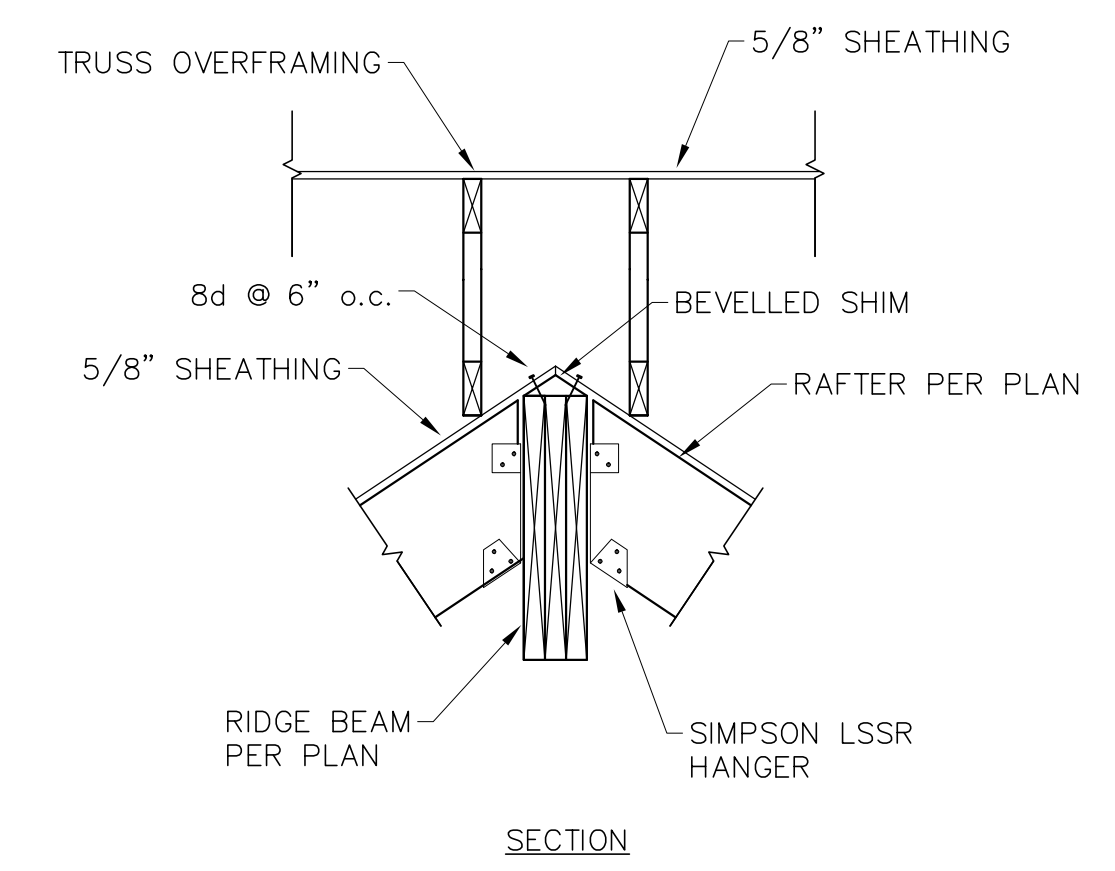
9 TYPICAL OVERFRAMING DETAIL
 SCALE: 3/4" = 1'-0"



10 ROOF FRAMING
 SCALE: 3/4" = 1'-0"



11 ROOF FRAMING
 SCALE: 3/4" = 1'-0"



12 ROOF FRAMING
 SCALE: 3/4" = 1'-0"

ASE Project No.: 2300-14
 Drawn By: ADC
 Checked By: LKA

Revision	Date
COORDINATION	5-11-23
PERMIT	6-05-23

SECTIONS AND DETAILS

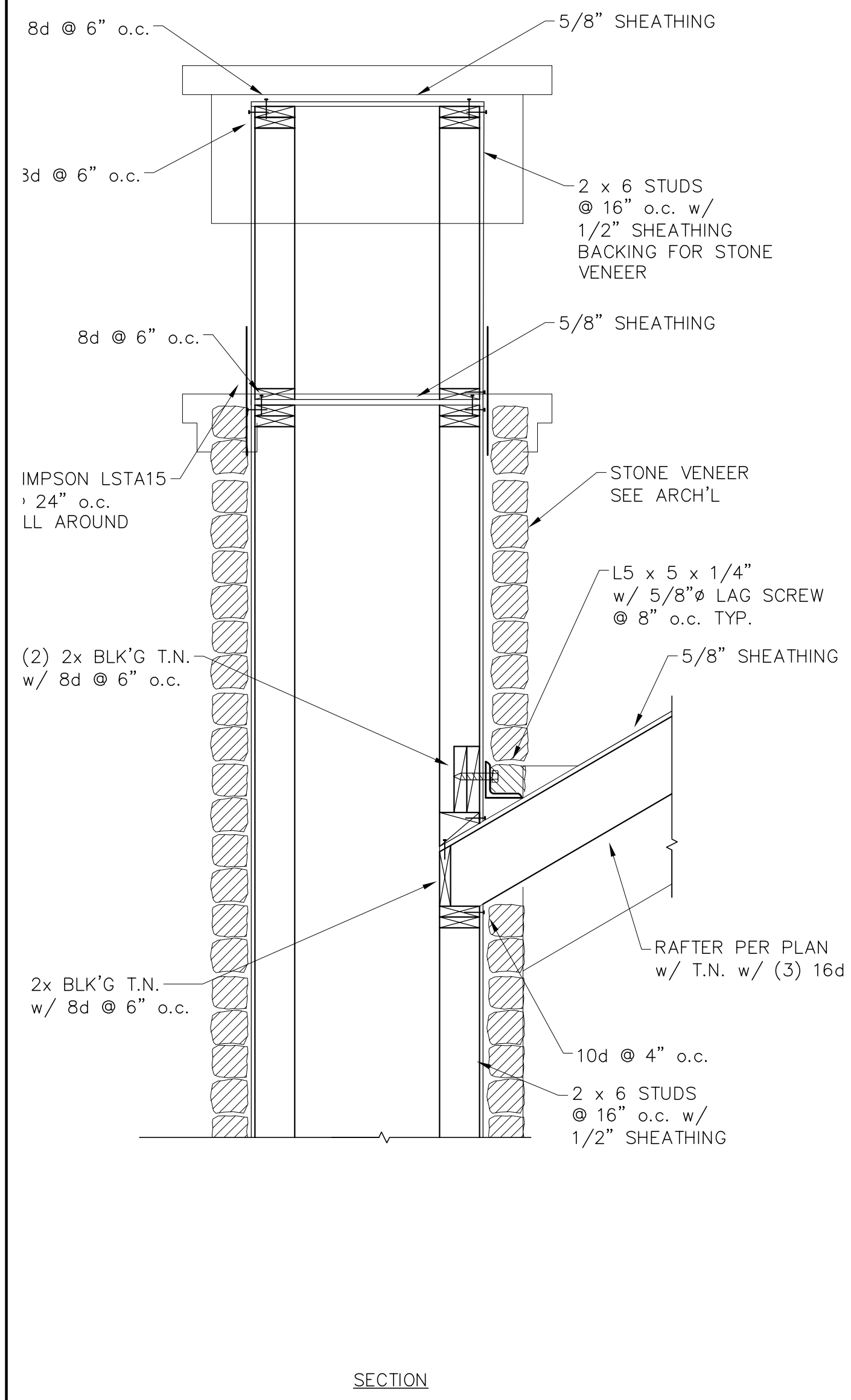
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S5.5

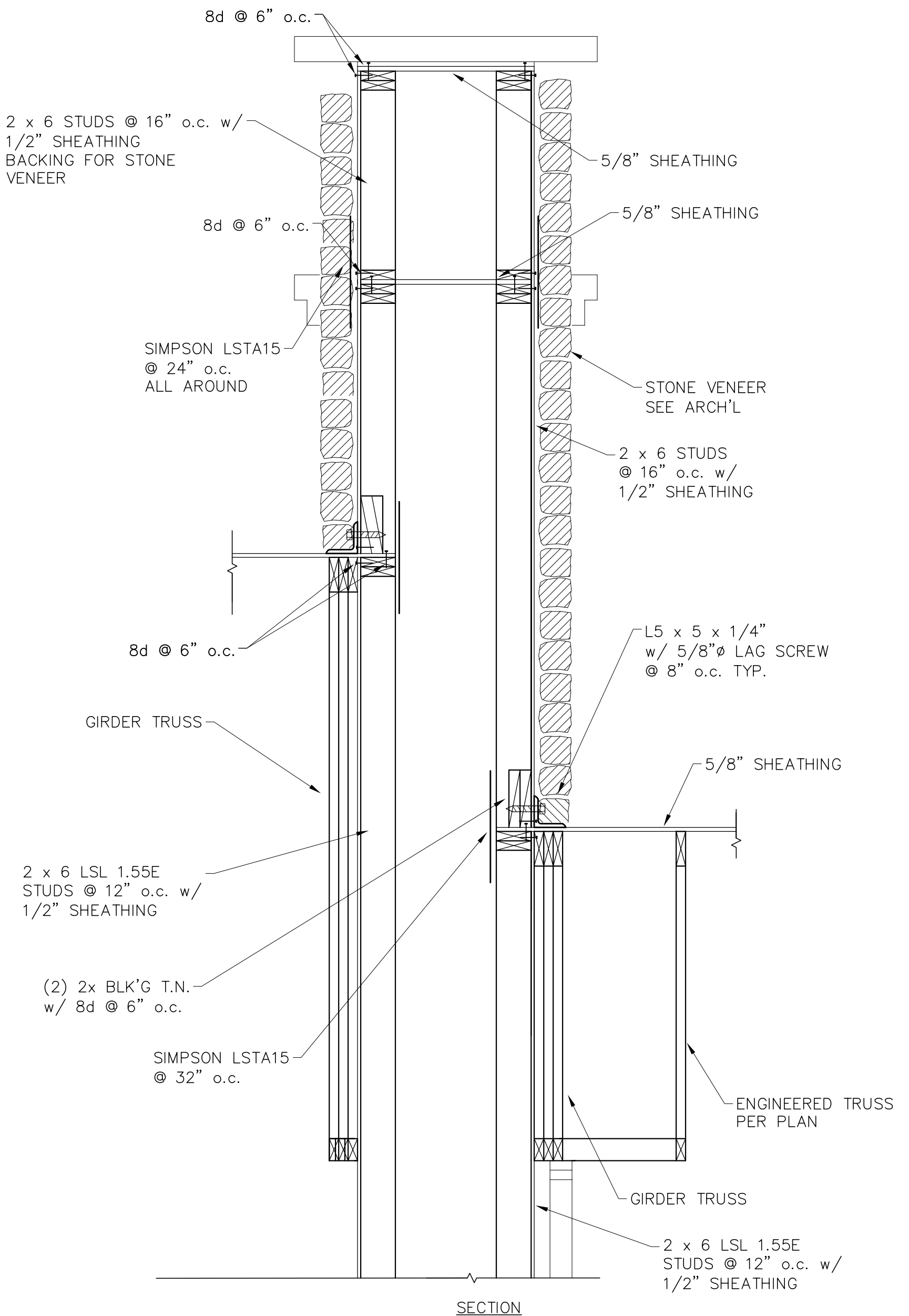


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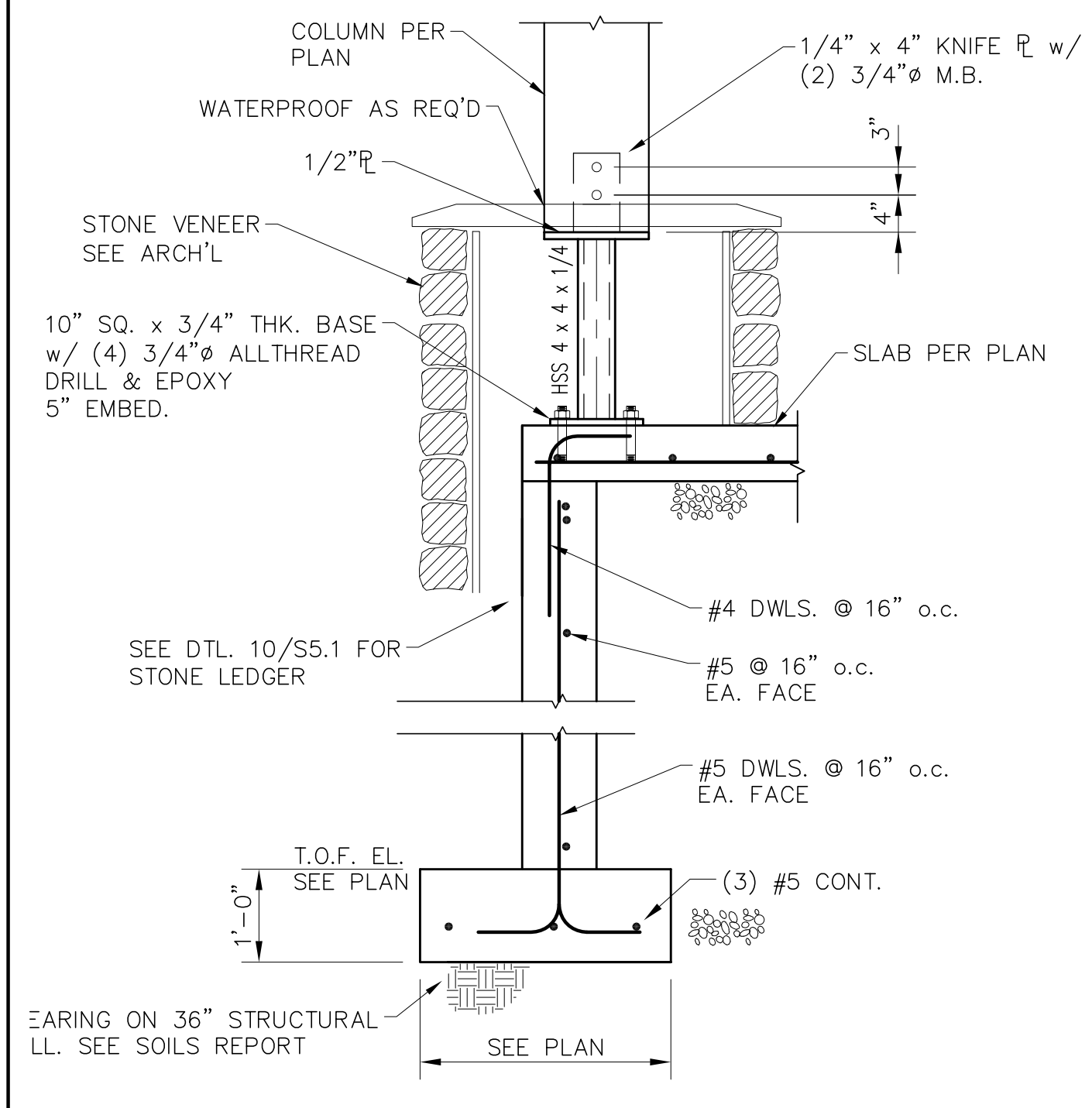
PRIER RESIDENCE
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 EAGLE COUNTY, COLORADO



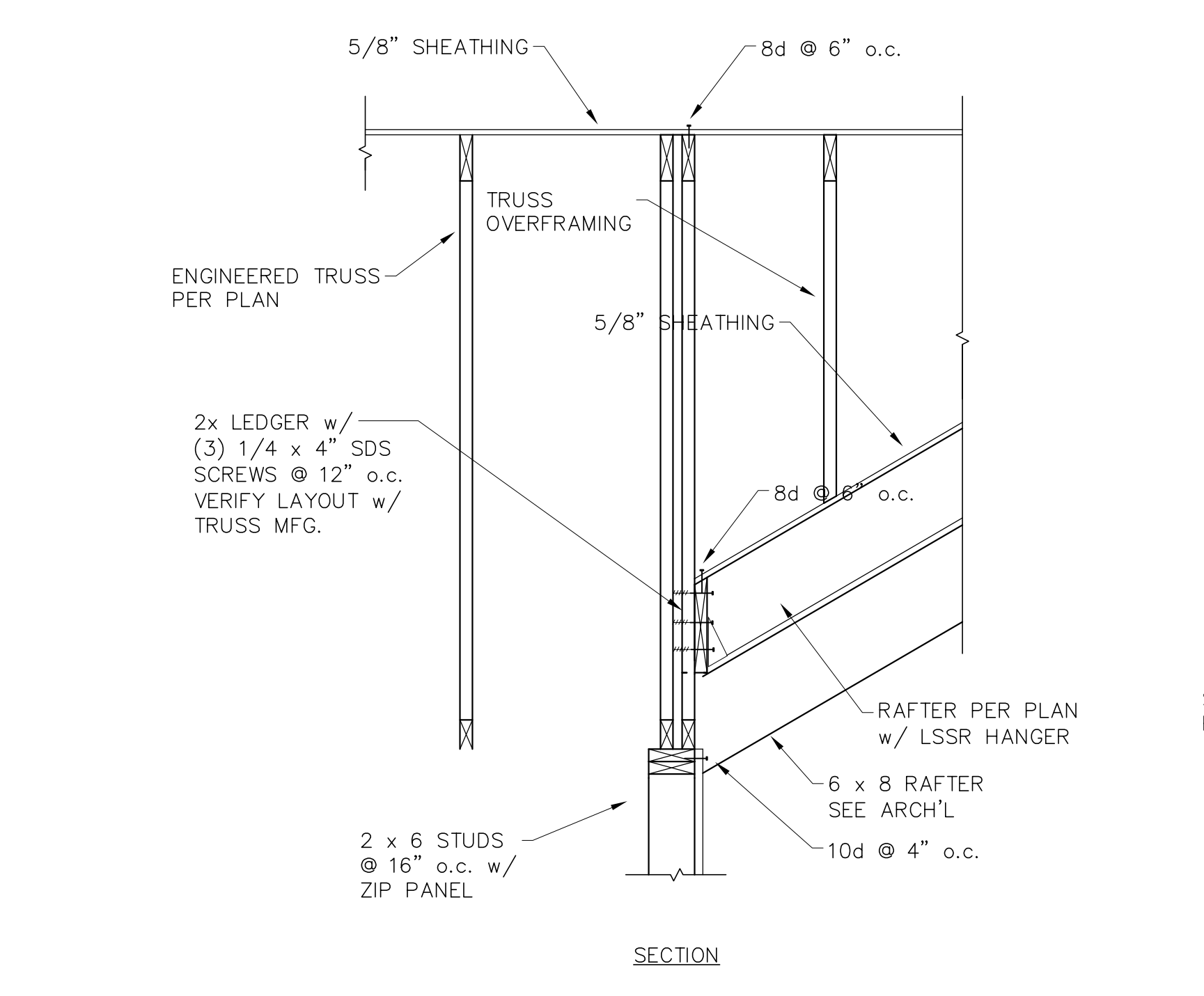
1 CHIMNEY FRAMING
 SCALE: 3/4" = 1'-0"



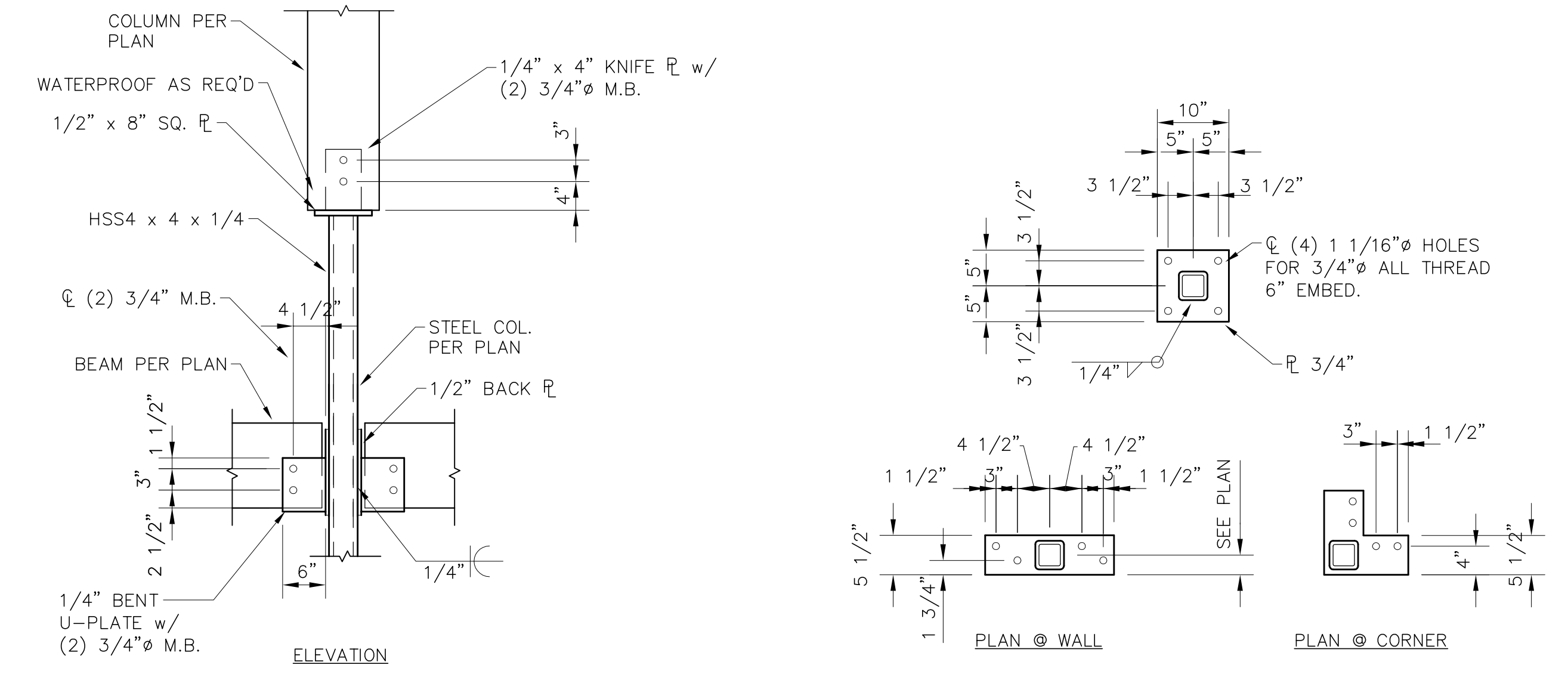
2 CHIMNEY FRAMING
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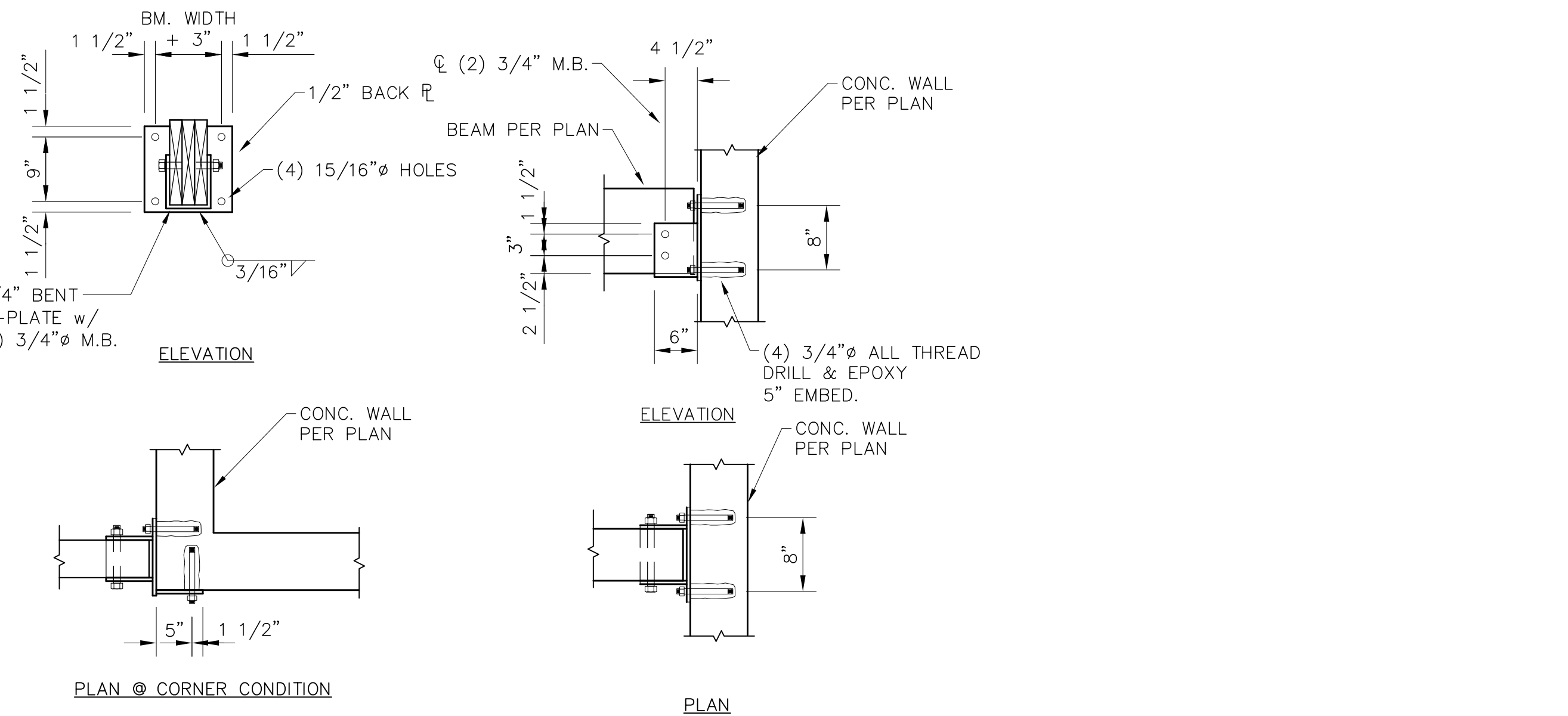
6 FOUNDATION DETAIL
 SCALE: 3/4" = 1'-0"



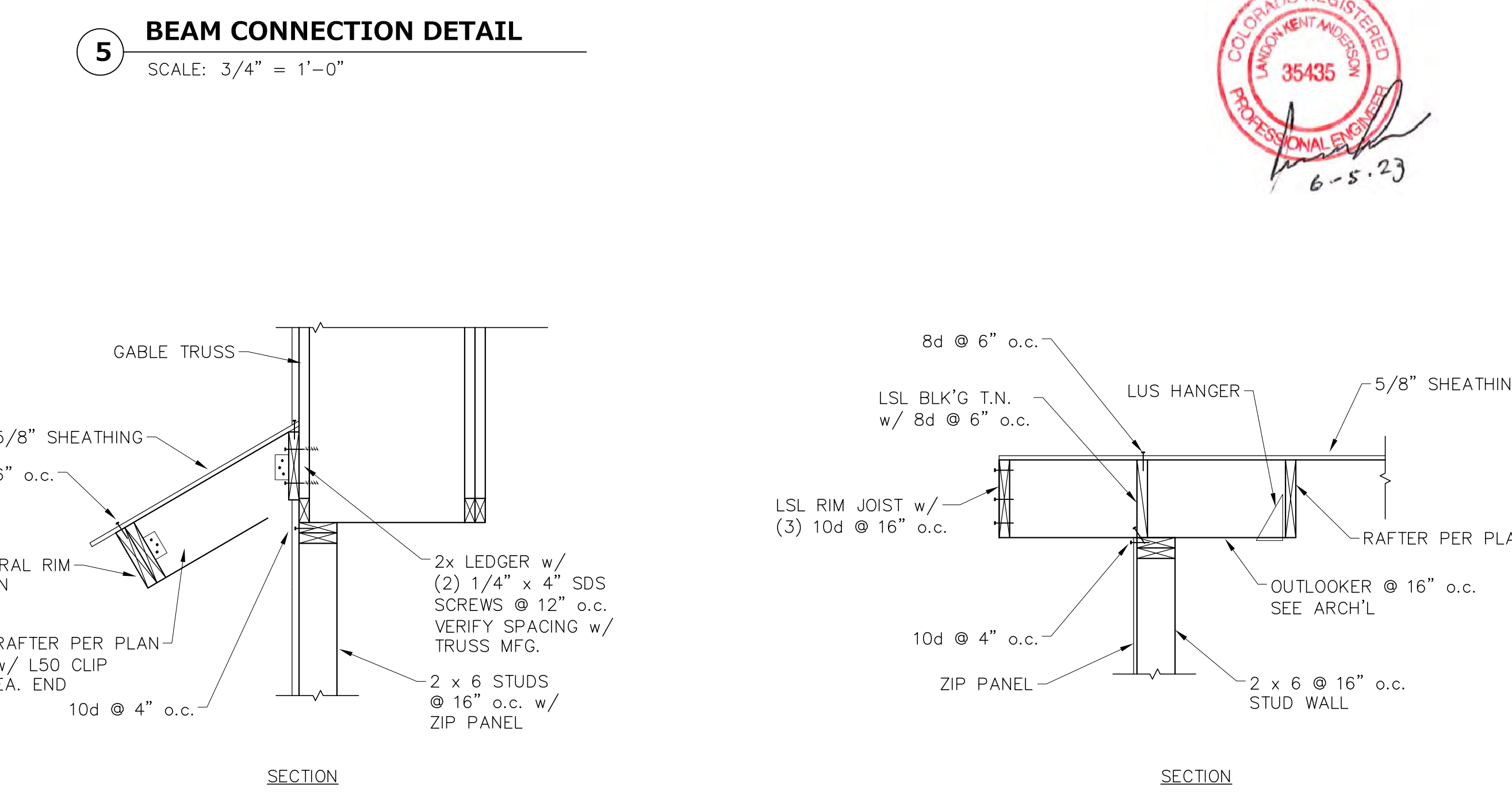
7 ROOF FRAMING
 SCALE: 3/4" = 1'-0"



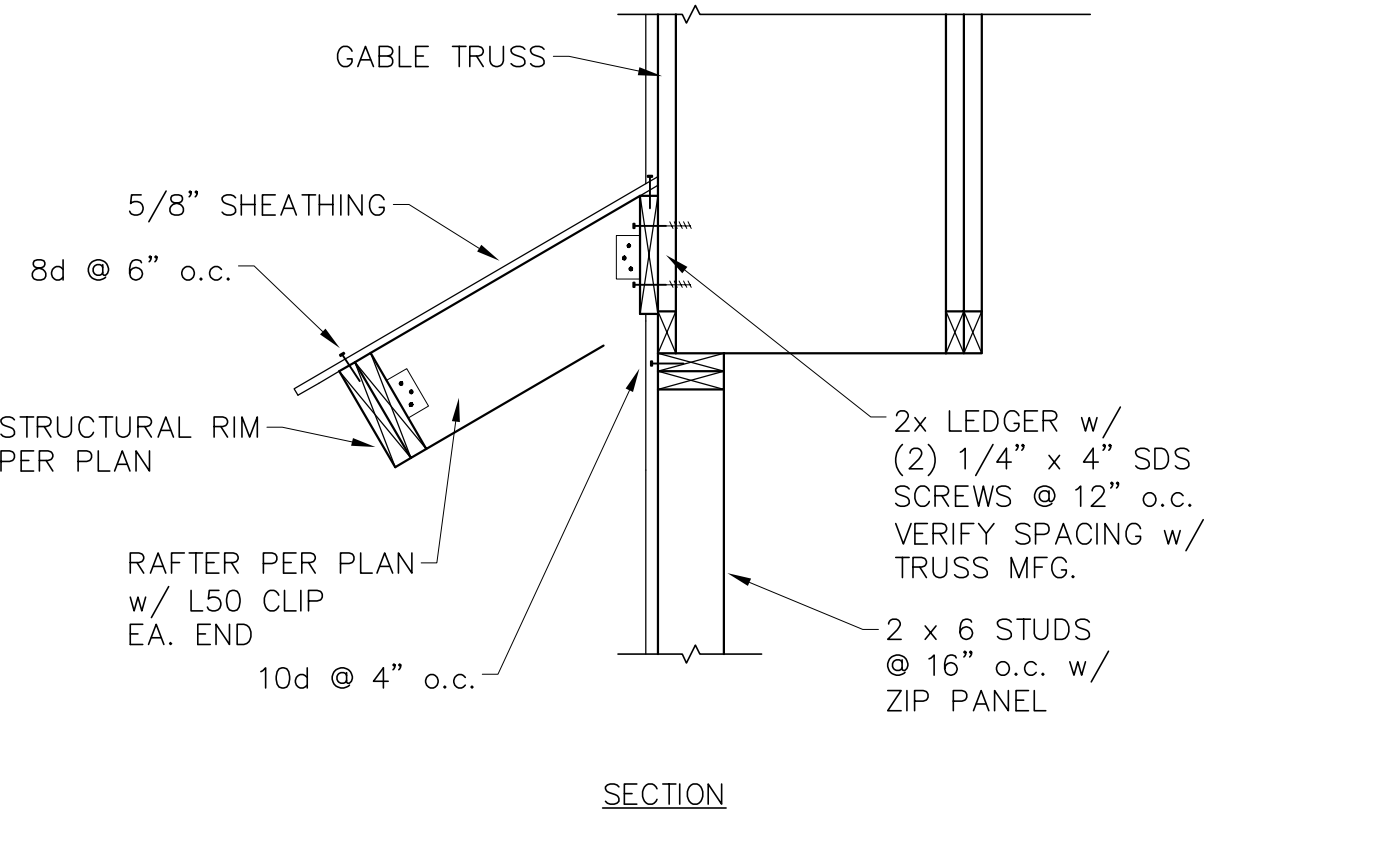
3 BEAM / COLUMN CONNECTION DETAIL
 SCALE: 3/4" = 1'-0"



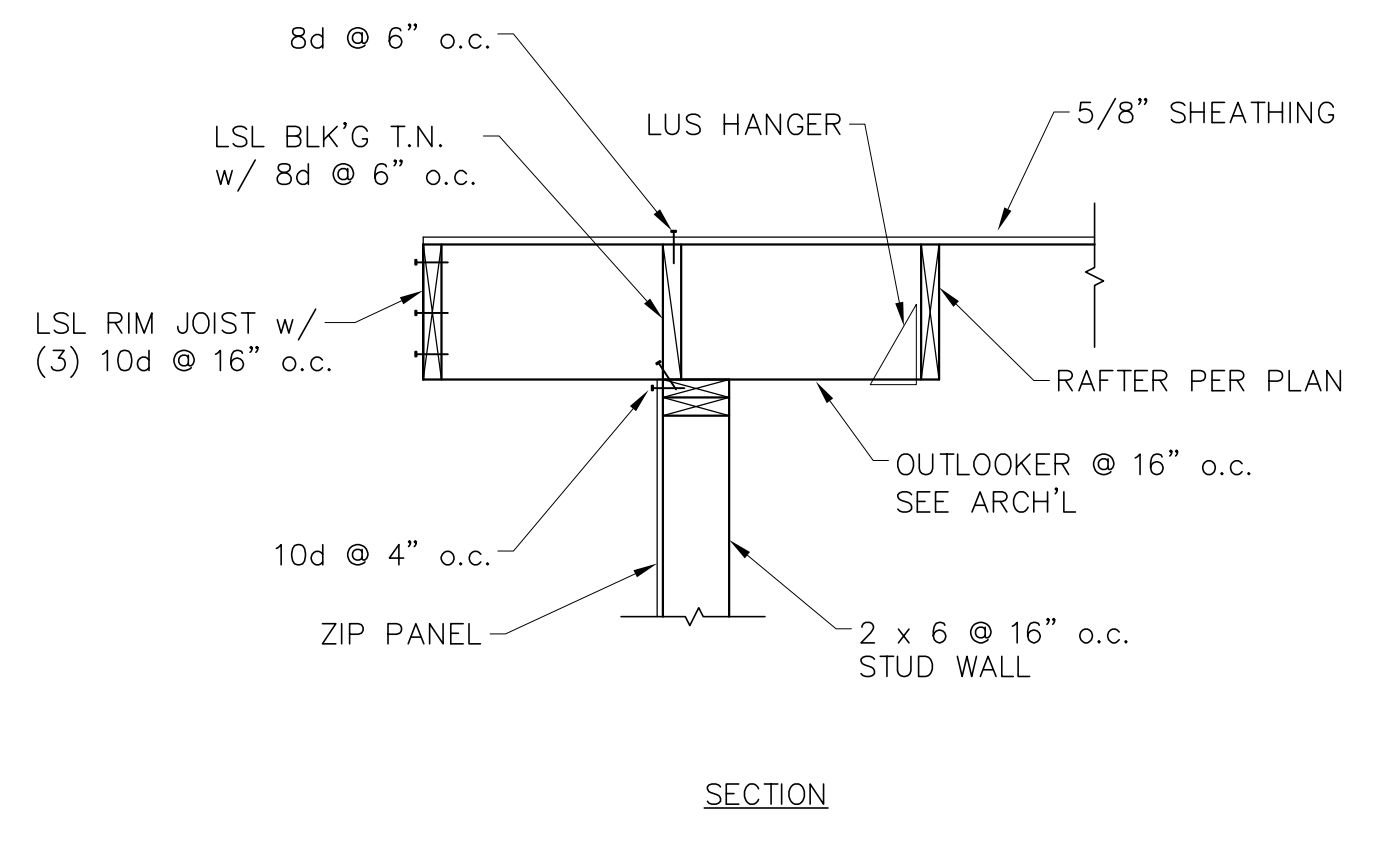
4 BASE PLATE DETAIL
 SCALE: 3/4" = 1'-0"



5 BEAM CONNECTION DETAIL
 SCALE: 3/4" = 1'-0"



8 ROOF FRAMING
 SCALE: 3/4" = 1'-0"



9 ROOF FRAMING
 SCALE: 3/4" = 1'-0"



ASE Project No.: 2300-14
 Drawn By: ADC
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Revision	Date
COORDINATION	5-11-23
PERMIT	6-05-23

SECTIONS AND DETAILS

Sheet
S5.6